

Montana State University
**Johnstone Center Exterior Painting
Construction Drawings**

PPA #19-0025
February 2021

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General Notes and Key Notes
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Section 1 - Reference Drawings

General Notes:

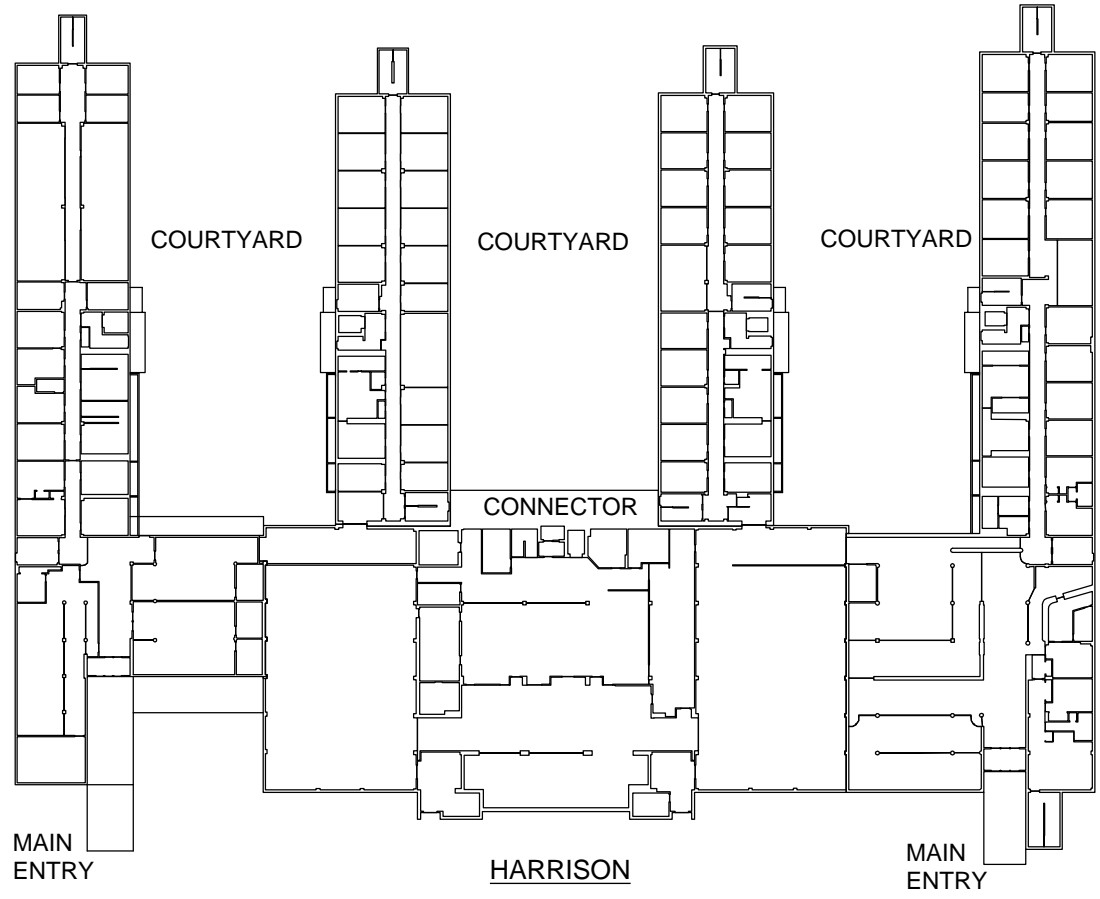
1. Plan and Elevation Drawings are provided to assist bidders with making quantity take-offs. Drawings are to scale as indicated but accuracy of the drawings is not guaranteed. Bidders are encouraged to visit site prior to bidding to confirm materials, textures, quantities, access, etc. as required to make accurate bid.
2. Contractor staging area to be located in Harrison Street parking area. Space will be limited to approximately 6 parking stalls and is only to be used for equipment, tools and material. Contractor vehicles will be required to park in permitted lot or off campus. See Specification Section 01 5000 Temporary Facilities and Utilities for additional info.
3. Contractor to provide as-built drawings indicating location of additional Unit Price work to support contract adjustment. See “Section 2 – Repair Scope” for Unit Price descriptions. Additional Unit Price work that is executed needs to be verified by architect prior to painting.

CULBERTSON

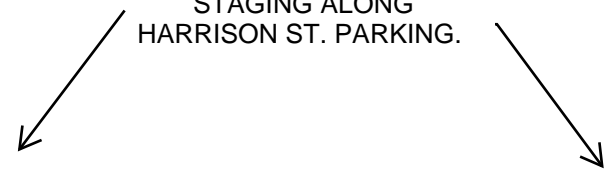
MULLAN

COLTER

PRYOR

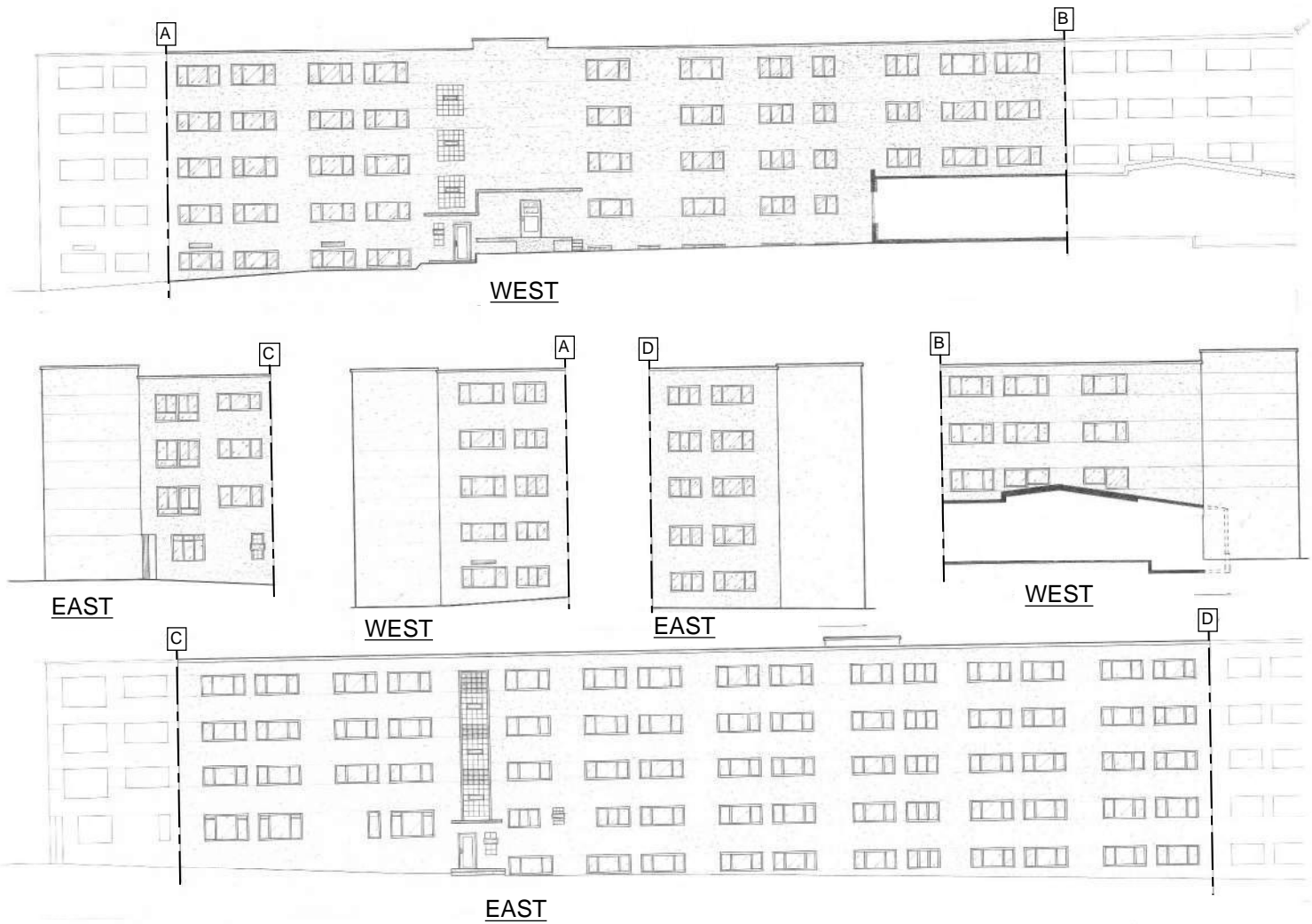


STAGING ALONG
HARRISON ST. PARKING.



NORTH

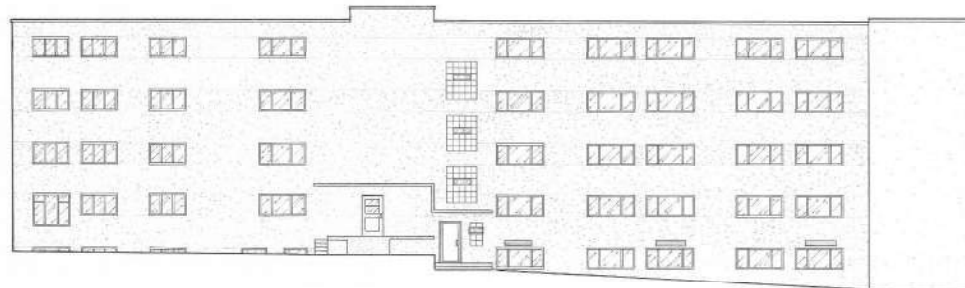
JOHNSTONE CENTER
REFERENCE PLAN
1/64" = 1'-0"



PRYOR
 1/32" = 1'-0"

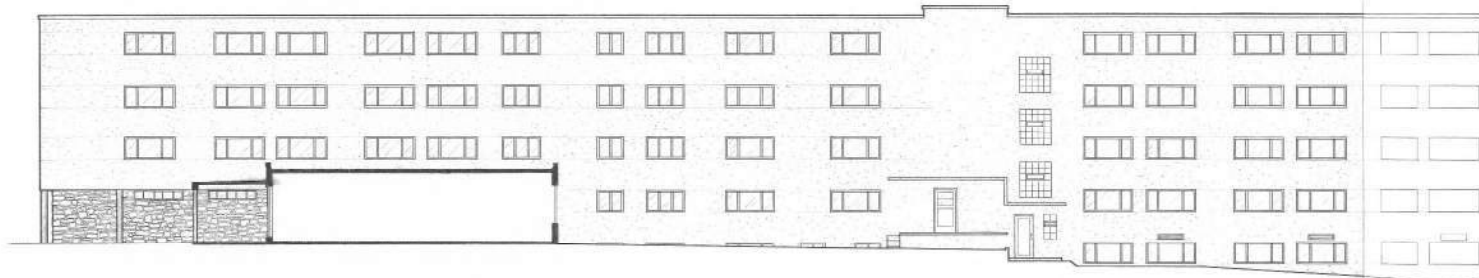


WEST



EAST

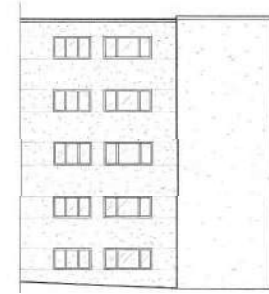
COLTER
(MULLAN SIM.)
1/32" = 1'-0"



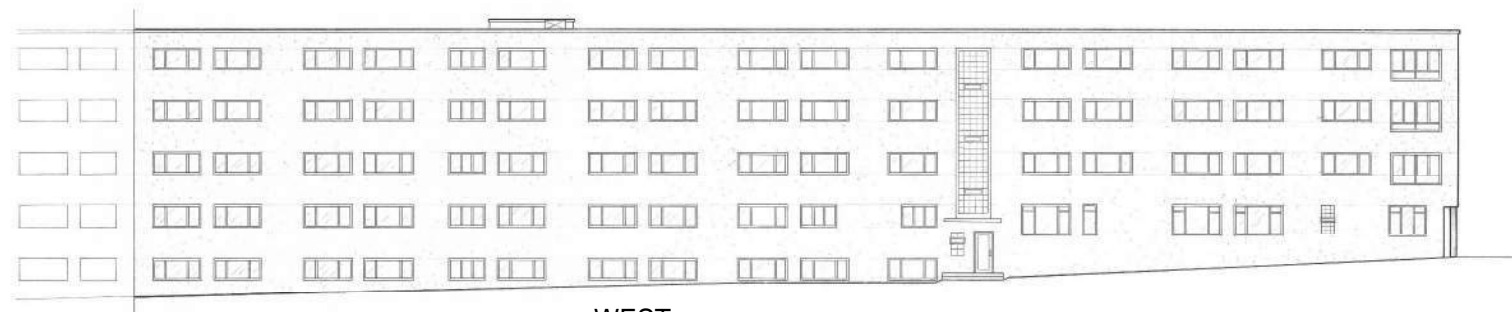
EAST



WEST

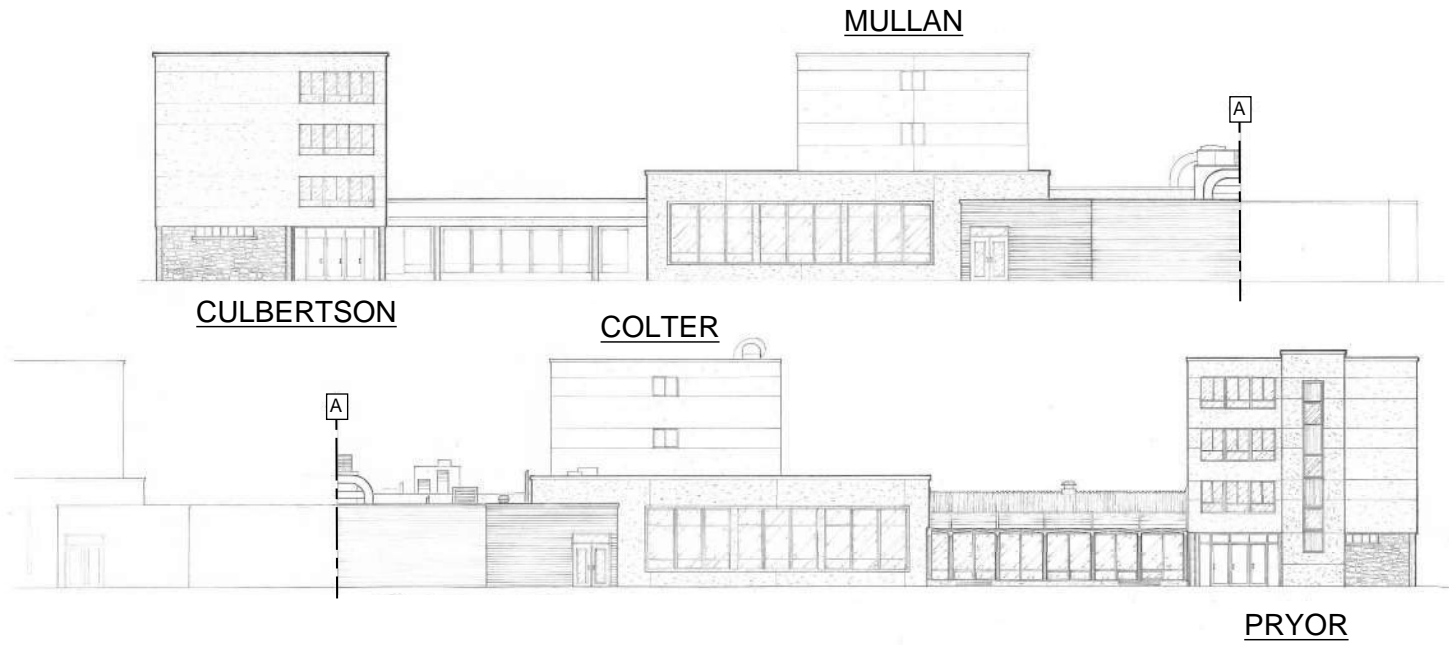


EAST

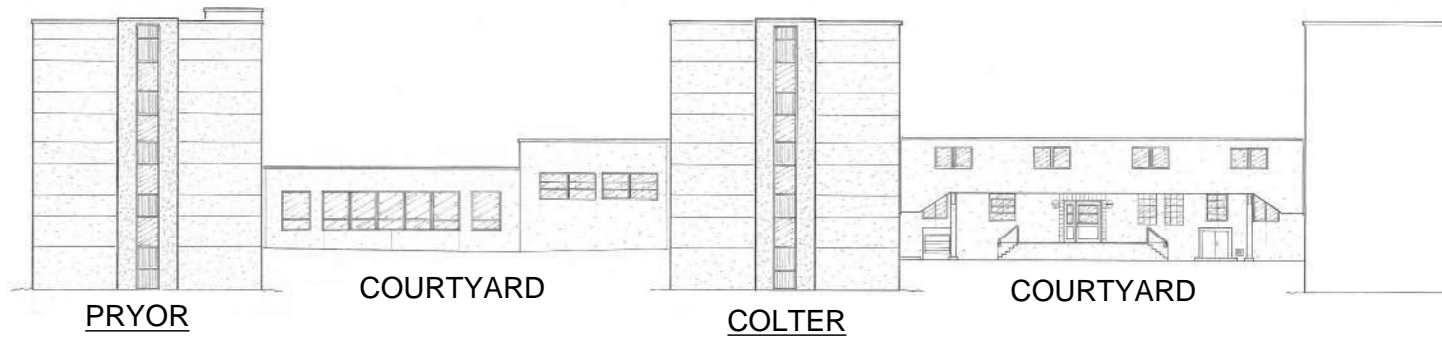


WEST

CULBERTSON
1/32" = 1'-0"



JOHNSTONE SOUTH
1/32" = 1'-0"

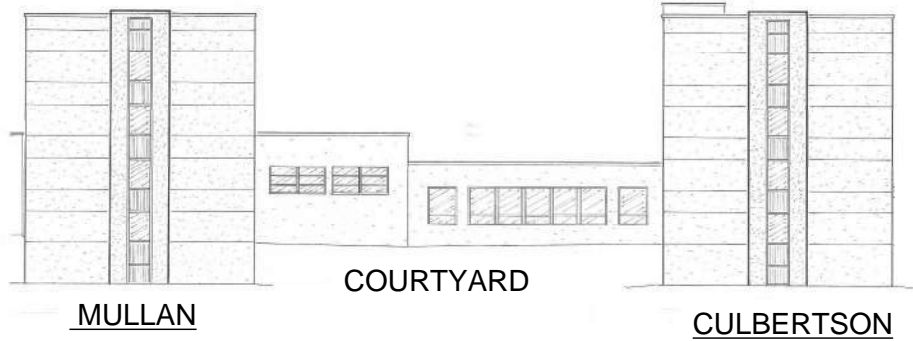


PRYOR

COURTYARD

COLTER

COURTYARD



MULLAN

COURTYARD

CULBERTSON

JOHNSTONE NORTH
1/32" = 1'-0"

Section 2 - Repair Scope

General Notes:

The Repair Scope generally applies to window trims, sealants, and concrete patching required in preparation of painting the entire building. Apparent damage to building that is not directly related to or in contact with painting is not part of the repair scope unless specifically noted.

W - Aluminum Window Trim

- These repairs apply to the typical resident room aluminum window units at Pryor, Colter and Mullan. They do not apply to typical Culbertson units or to fixed storefront, glass block, etc.
- This scope does not involve any window repair beyond making improvements to the perimeter trim flashing.
- Provide Unit Price as defined in Key Notes.
- Provide Alternate #1 Bid as defined in Key Notes.
- See details at the end of Section 2.

S - Sealant

- All new sealant to be installed prior to elastomeric paint. Apply paint over top of sealant.
- Provide Unit Prices as defined in Key Notes.

C – Concrete Patching

- Texture of concrete patching to match adjacent surfaces.
- Provide Unit Price as defined in Key Notes.

Miscellaneous

- Make misc. repairs as noted on scope photos.

Window Key Notes:

W1

- Remove loose and peeling existing paint that exists over the perimeter window trim caulking.
- Apply new bead of sealant at side and top trims (not bottom).

W2

- Remove loose trim pieces. These are generally visually apparent and/or have had excessive recaulking.
- Clean all residue off trim and wall. Reinstall per detail.
- Base bid to include 28 trim pieces to be repaired.
- **PROVIDE UNIT PRICE #1 FOR ADDITIONAL W2 REPAIRS** - All existing trim should be inspected for solid attachment to building. Additional loose trims should be included in W2 scope. (THIS CONDITION APPEARS TO BE WORSE ON WEST ELEVATIONS)

W3

- Replace missing aluminum trim in kind. See scope photos for locations.
- Install per W2 repair.
- Contractor to verify existing trim profile and length required for replacement.

W4

- **ALTERNATE BID ITEM #1** – Install new head flashing at 369 aluminum window units at Pryor, Colter and Mullan. This repair is intended to augment the water tightness at the window head trim and divert water away from window unit. Repairs W1, W2 and W3 still apply as noted.
- Window sizes vary but generally consists of a few standard sizes. Refer to elevations drawings.

Sealant Key Notes:

S1

- Remove caulking per abatement plan. Install new sealant where removed.
- Do not remove caulking at any locations identified as ACM except where noted. This caulking is generally sound and will be left in place.

S2

- Install new sealant where indicated in photos. The majority of this application will over existing caulking that is sound and to remain in place. These locations include:
 - misc. fixed windows
 - typical Culbertson windows
 - wall joint where stair towers attach to wings
- S2 scope is separate from repairs W1, W2, W3, W4, S1, S3, S4.

S3

- Completely remove all existing silicone sealant at window panels. Install new sealant. This applies to the four north stair towers. The south Pryor stair tower is similar but there is no existing sealant in place.

S4

- remove old caulking and reseal wall vent.

S5 - Change in scope

- PROVIDE UNIT PRICE #2 FOR CAULKING REMOVAL - All existing caulking should be inspected for solid attachment to building and condition. Unsound caulking should be removed where required and replaced with new sealant. Base bid should include 300 L.F. of existing caulking to be removed; means and methods as required. The unit cost serves as a basis to adjust the contract sum if the required work is more or less than 300 LF.
- PROVIDE UNIT PRICE #3 FOR ADDITIONAL SEALANT - Install new sealant at any additional locations on building that are found to require sealant but are not indicated in the scope photos. This may include gaps, cracks and/or locations where old caulking was removed. The unit cost serves as a basis to adjust the contract sum if the required work is more or less than indicated on the plans.

Concrete Key Notes:

C1

- Patch at broken or chipped area.

C2

- Router and patch wall crack where identified on photos. This repair is intended for cracks wider than 1/32". Smaller cracks will be bridged by elastomeric coating.
- PROVIDE UNIT PRICE #4 FOR ADDITIONAL ROUTING AND PATCHING - Additional C2 repair where cracking larger than 1/32" wide is discovered at locations not specifically indicated in scope photos.

C3

- Sound concrete as required to determine solidity. Remove loose concrete and patch. Texture to match adjacent surfaces.

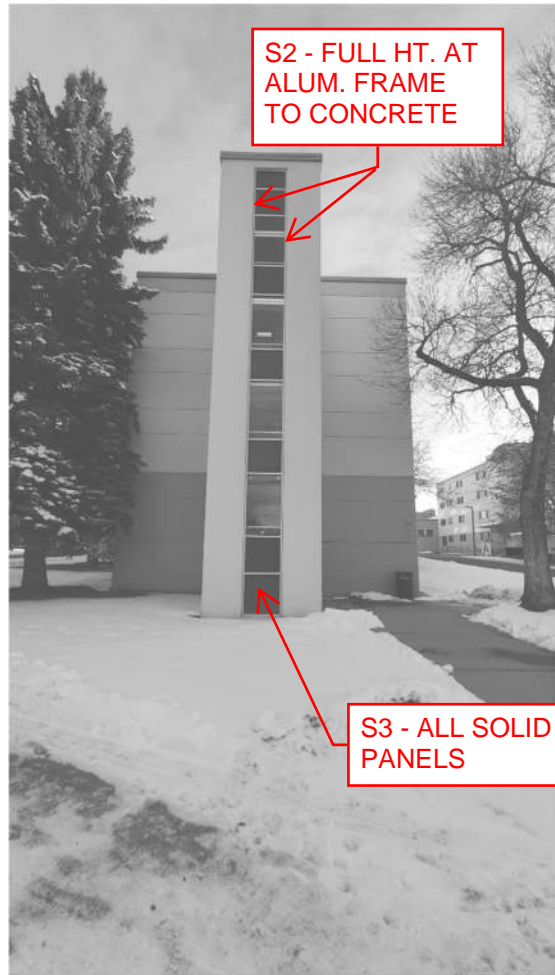
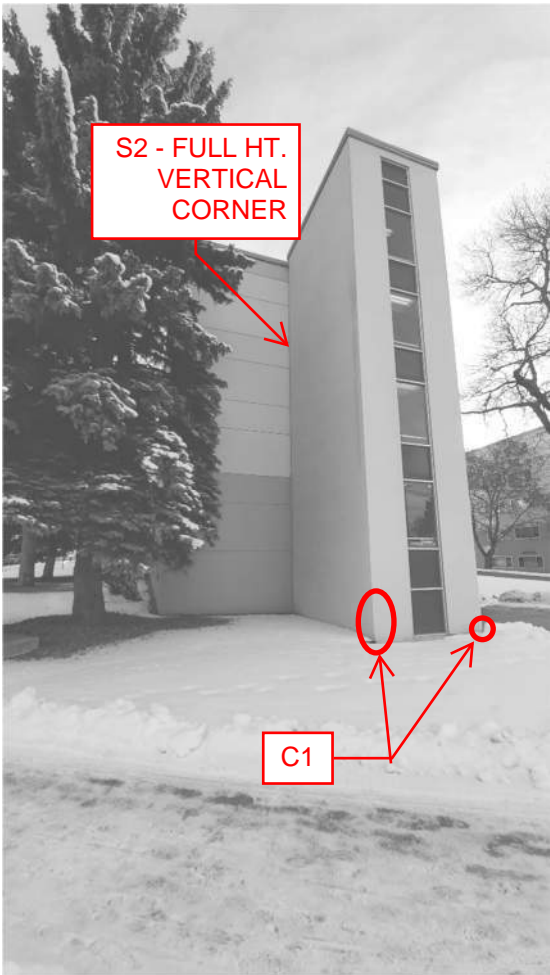
C4

- EIFS patching per industry standards.

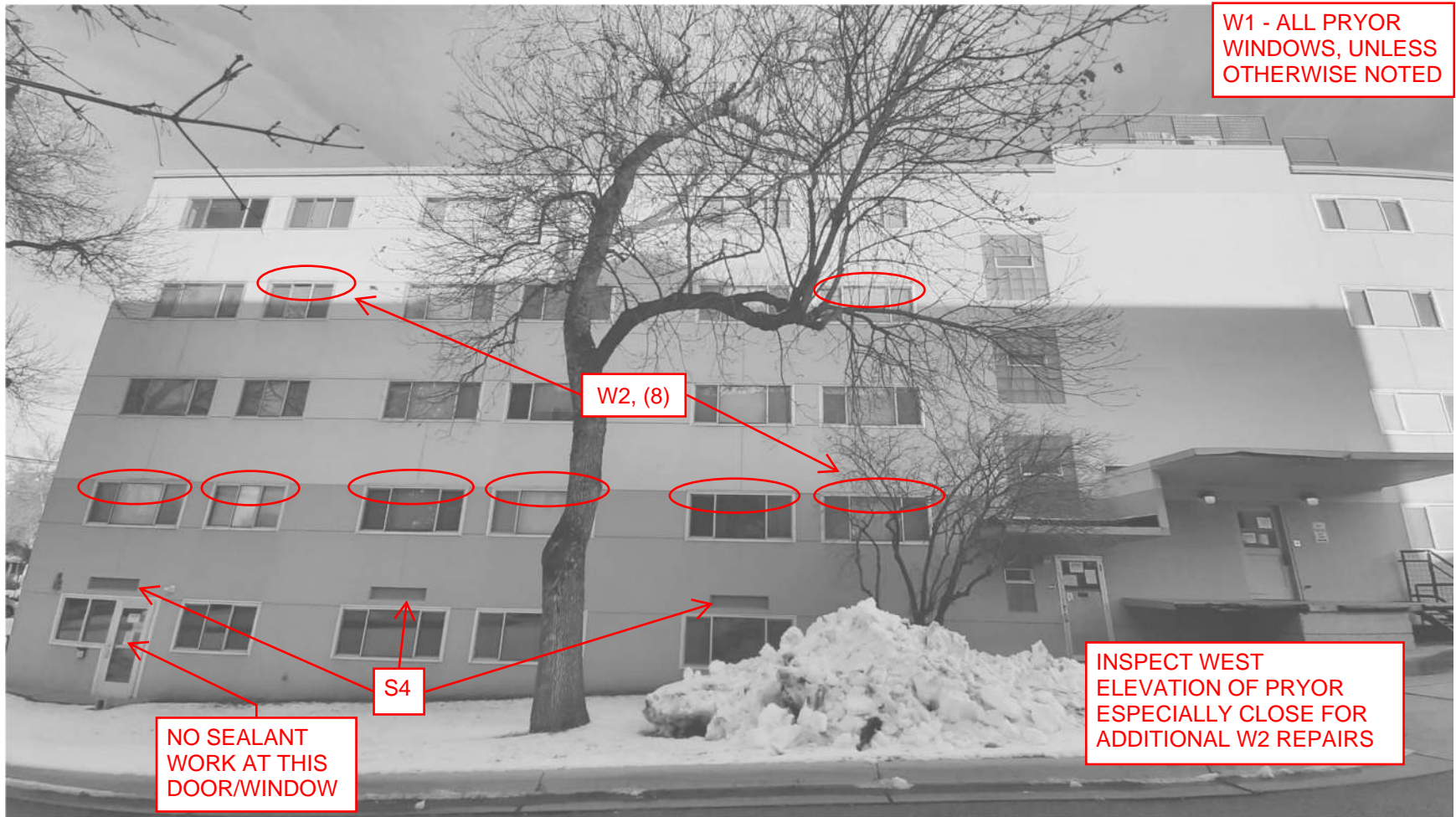
C5

- Remove existing fasteners, window guards, etc. Patch concrete as required.

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PRYOR - NORTH



W1 - ALL PRYOR
WINDOWS, UNLESS
OTHERWISE NOTED

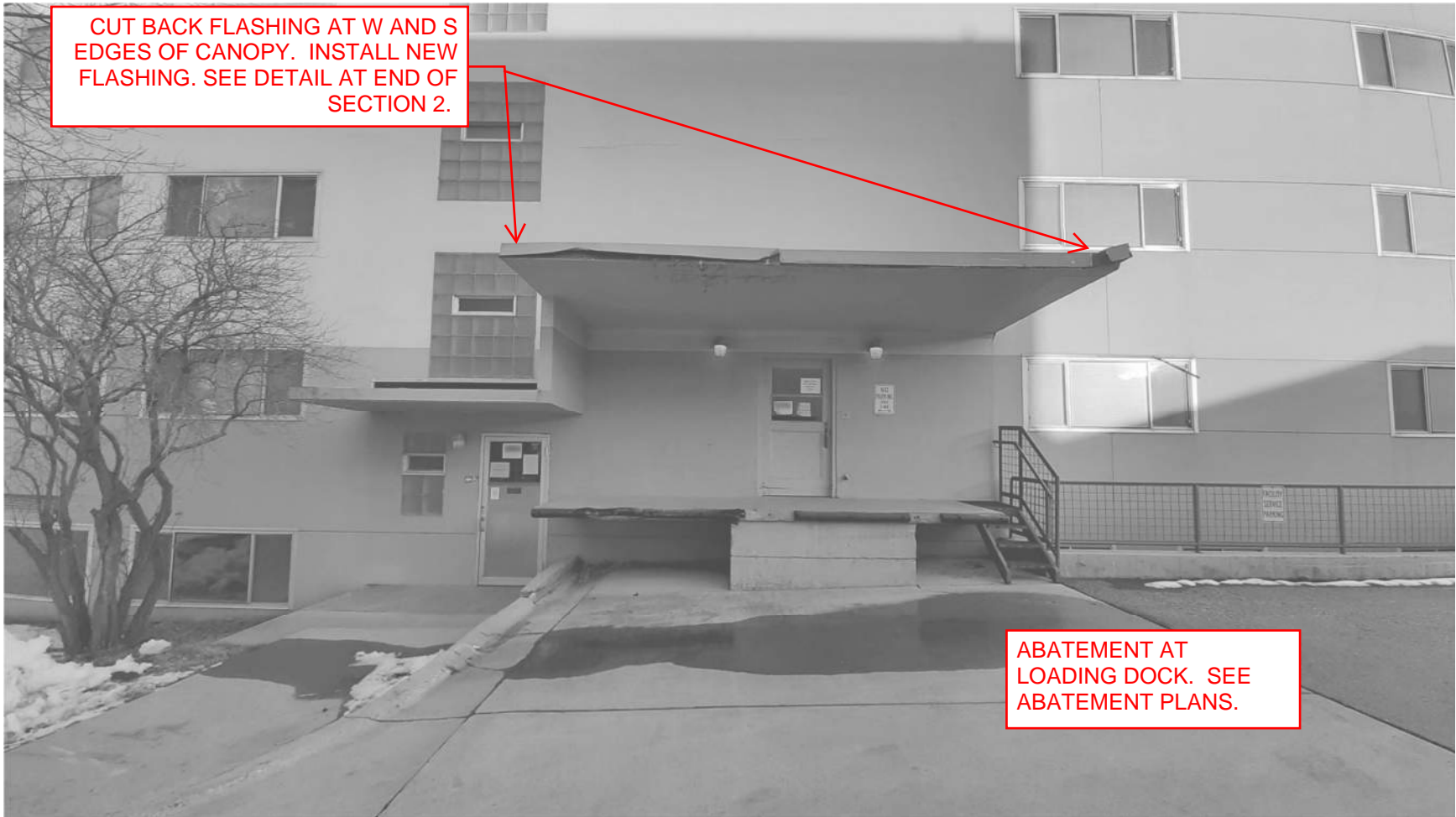
W2, (8)

NO SEALANT
WORK AT THIS
DOOR/WINDOW

S4

INSPECT WEST
ELEVATION OF PRYOR
ESPECIALLY CLOSE FOR
ADDITIONAL W2 REPAIRS

PRYOR - WEST



CUT BACK FLASHING AT W AND S EDGES OF CANOPY. INSTALL NEW FLASHING. SEE DETAIL AT END OF SECTION 2.

ABATEMENT AT LOADING DOCK. SEE ABATEMENT PLANS.

PRYOR - WEST



W1 - ALL PRYOR
WINDOWS, UNLESS
OTHERWISE NOTED

C2

W2

C1 - AT BASEMENT
WALL

W3 - AT BASEMENT
WINDOW

PRYOR - WEST



W1 - ALL PRYOR
WINDOWS, UNLESS
OTHERWISE NOTED

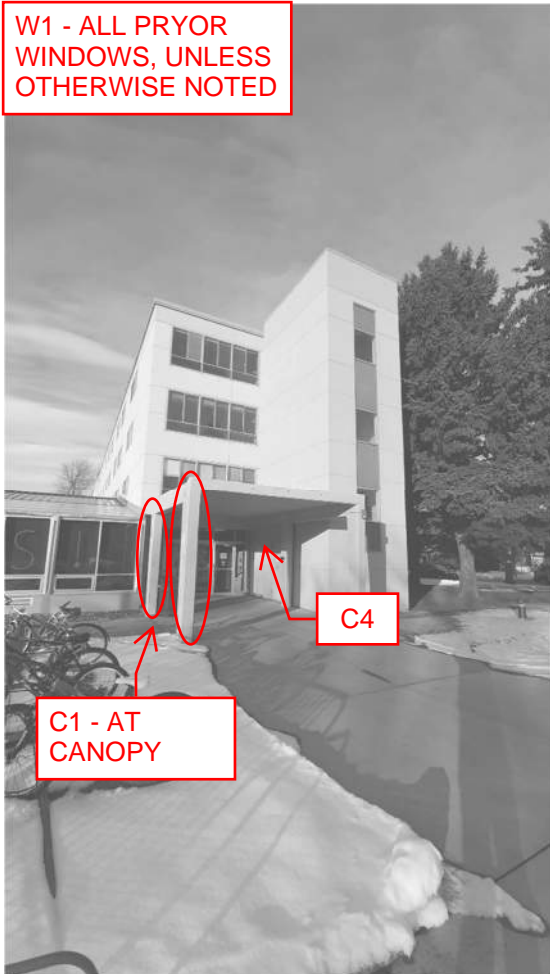
W2, (6)

C5 - (8) WINDOW
GUARD BRACKETS

INSPECT WEST
ELEVATION OF PRYOR
ESPECIALLY CLOSE FOR
ADDITIONAL W2 REPAIRS

PRYOR - WEST

W1 - ALL PRYOR
WINDOWS, UNLESS
OTHERWISE NOTED



C1 - AT
CANOPY

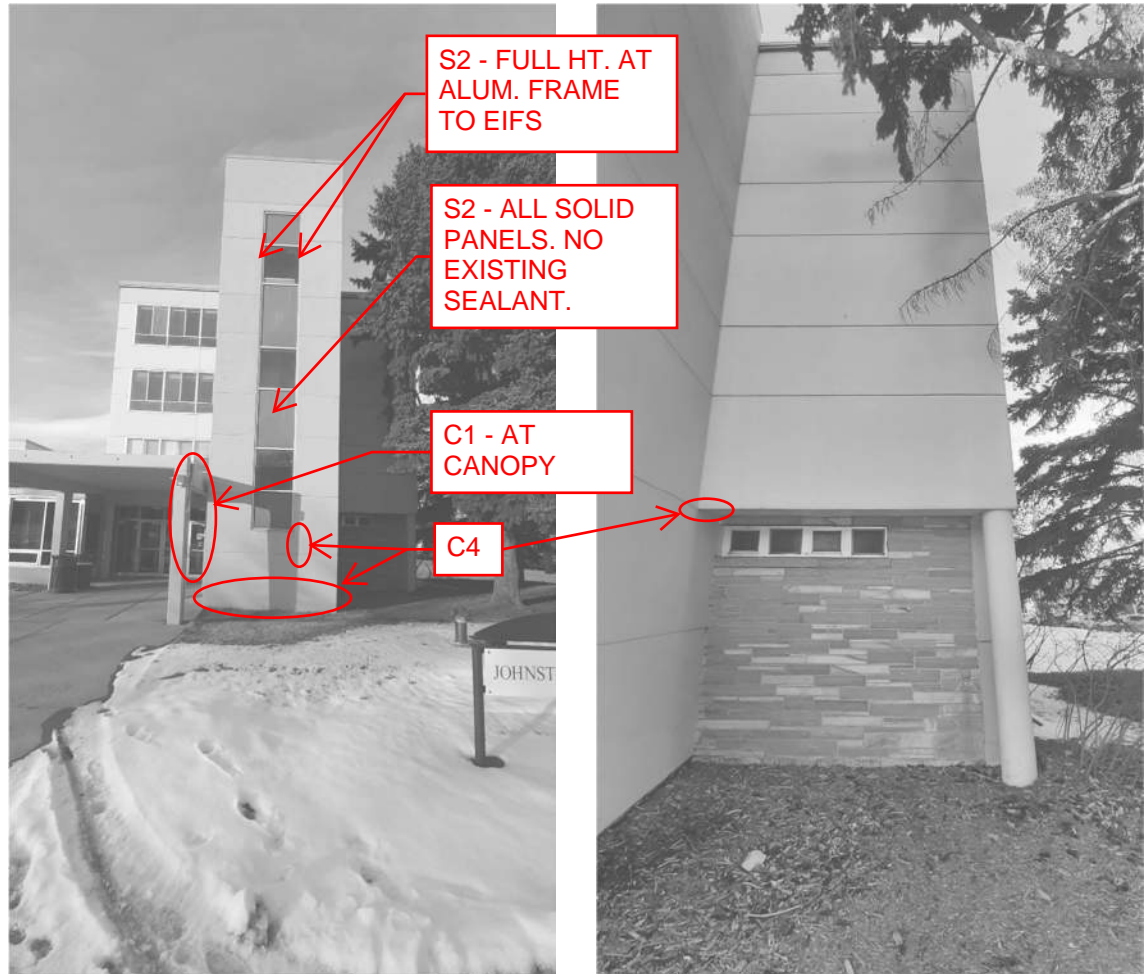
C4

S2 - FULL HT. AT
ALUM. FRAME
TO EIFS

S2 - ALL SOLID
PANELS. NO
EXISTING
SEALANT.

C1 - AT
CANOPY

C4



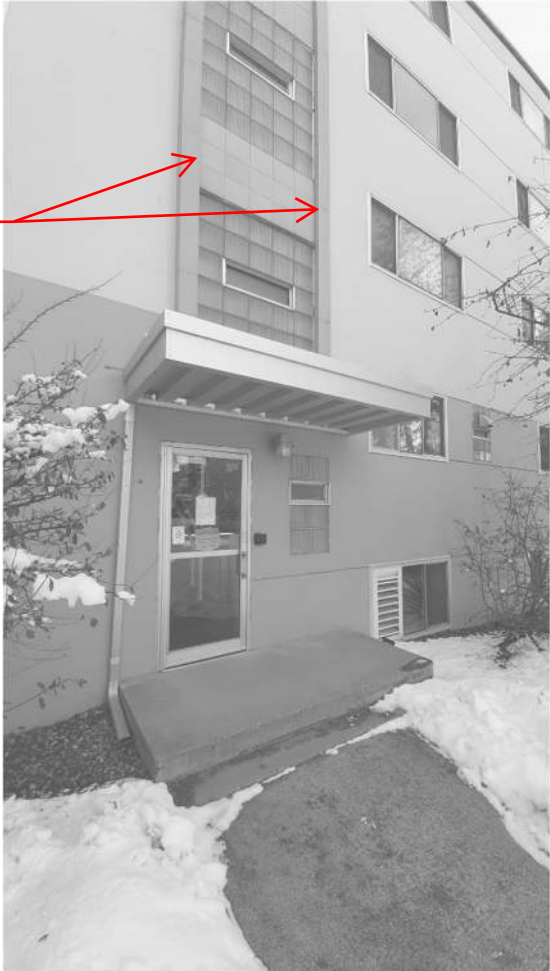
PRYOR - SOUTH



W1 - ALL PRYOR
WINDOWS, UNLESS
OTHERWISE NOTED

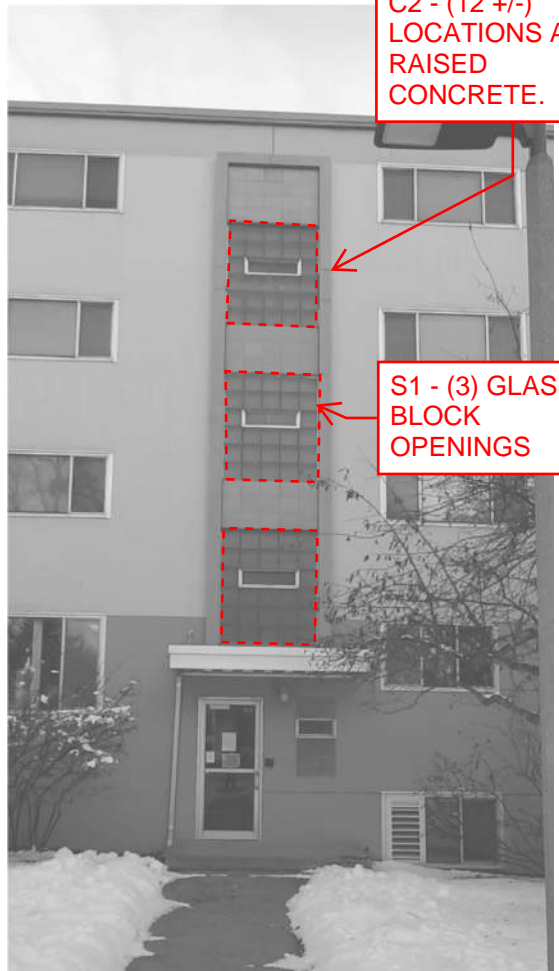
PRYOR – EAST

S2 - (3) MASONRY TO
RAISED CONCRETE

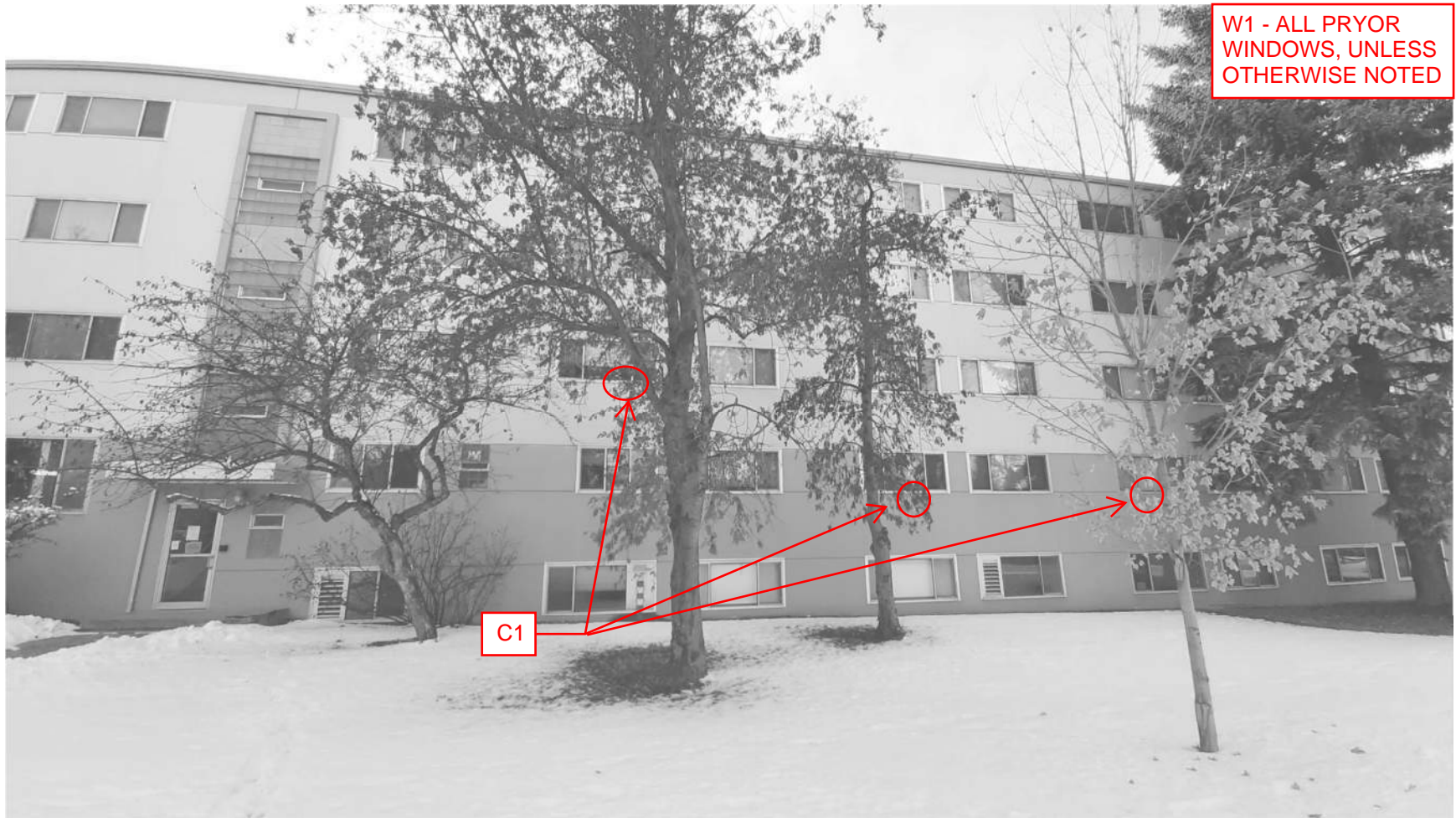


C2 - (12 +/-)
LOCATIONS AT
RAISED
CONCRETE.

S1 - (3) GLASS
BLOCK
OPENINGS



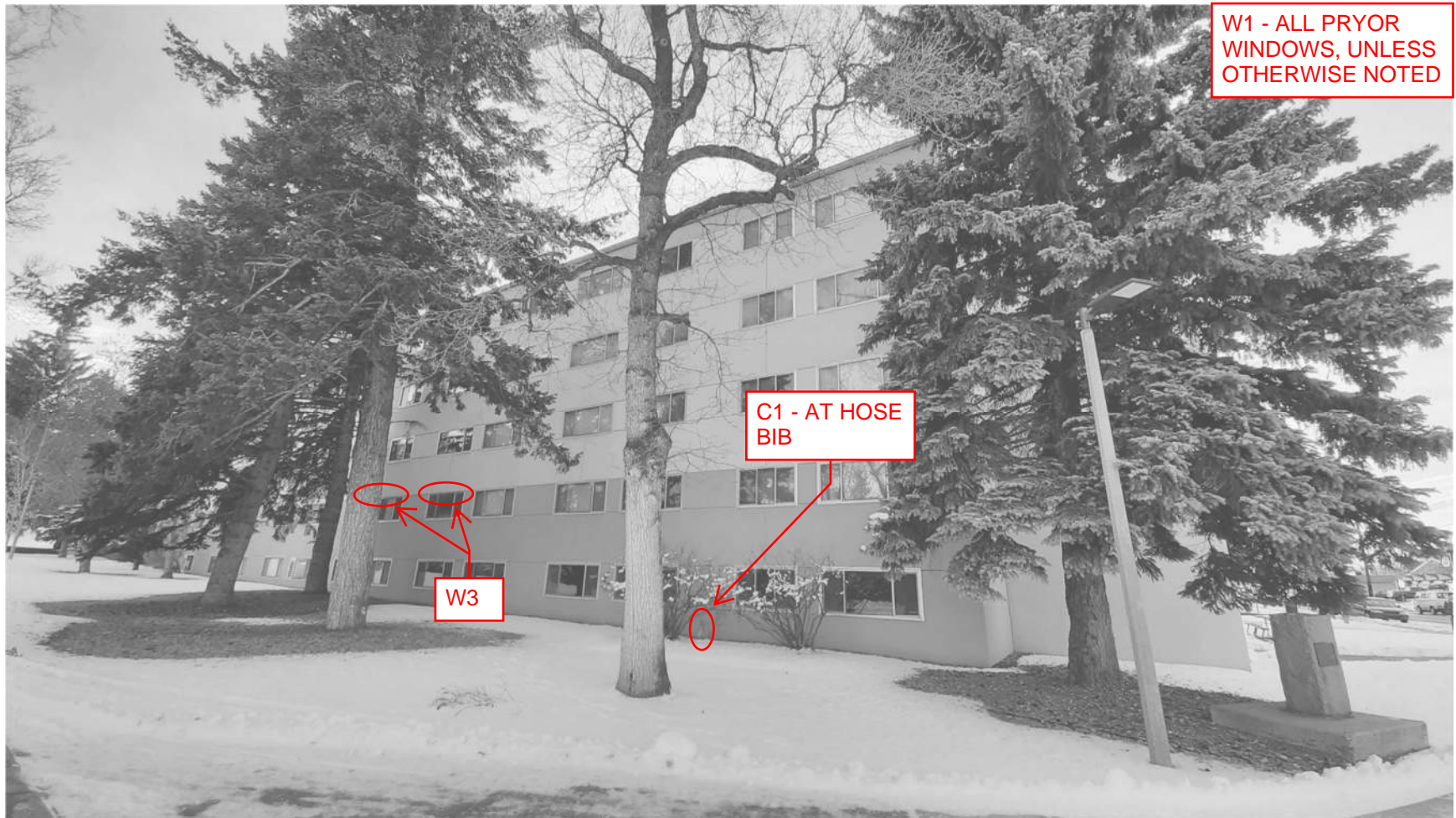
PRYOR - EAST



W1 - ALL PRYOR
WINDOWS, UNLESS
OTHERWISE NOTED

C1

PRYOR - EAST

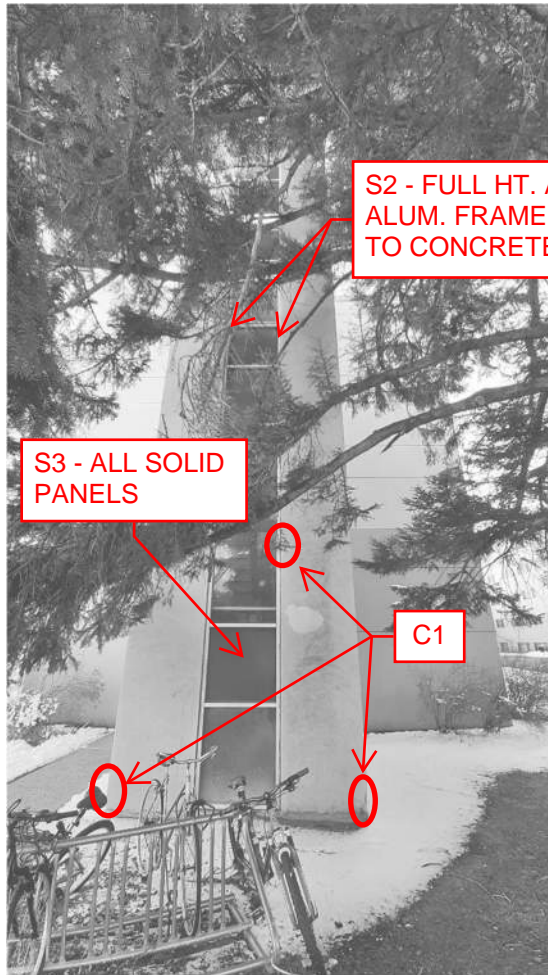


W1 - ALL PRYOR
WINDOWS, UNLESS
OTHERWISE NOTED

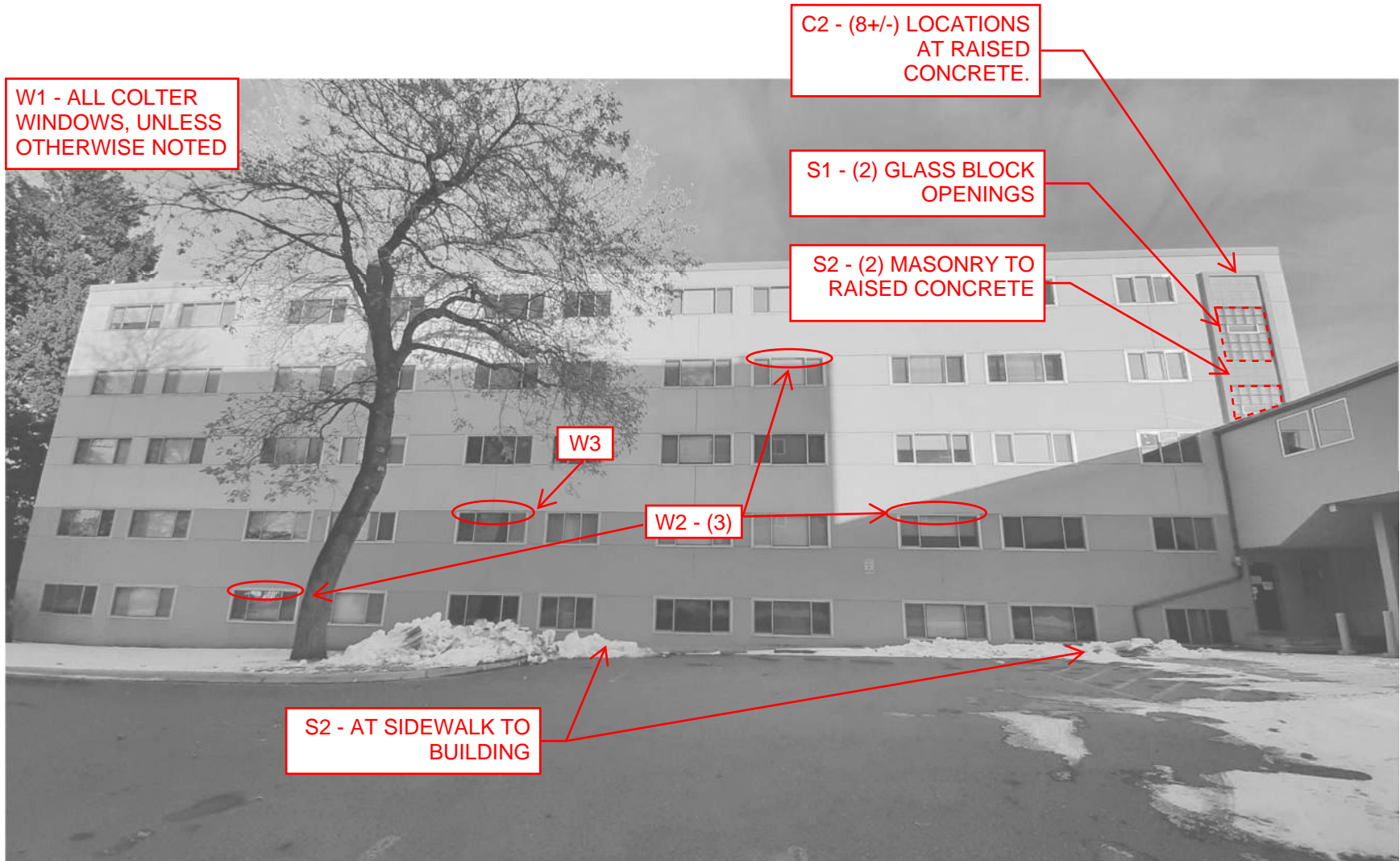
C1 - AT HOSE
BIB

W3

PRYOR - EAST



COLTER - NORTH



COLTER - WEST



COLTER - WEST



W1 - ALL COLTER
WINDOWS, UNLESS
OTHERWISE NOTED

C5 - (2) WINDOW
GUARD BRACKETS

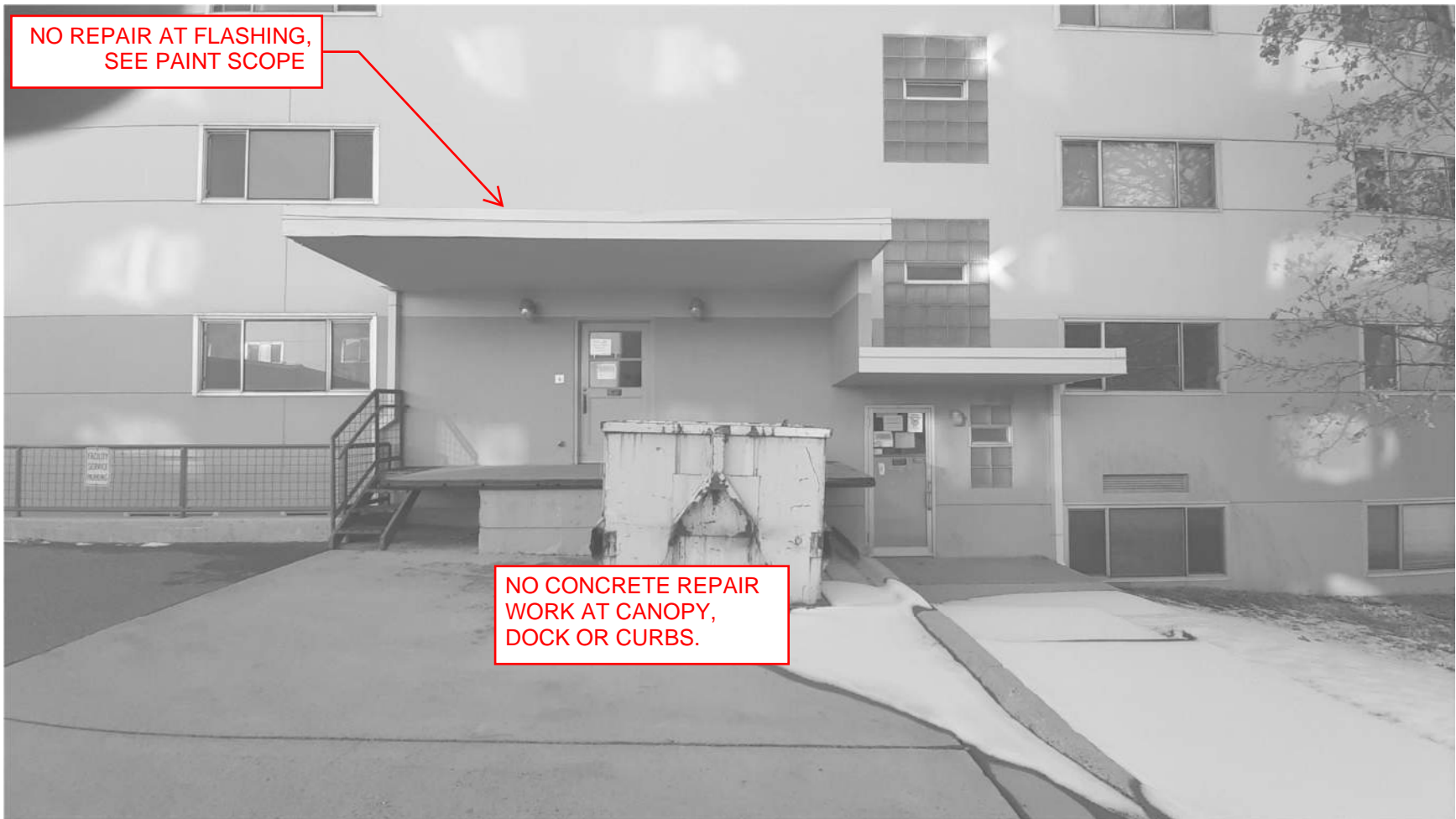
COLTER - SOUTHEAST



W1 - ALL COLTER
WINDOWS, UNLESS
OTHERWISE NOTED

W2 - AT BASEMENT WINDOW

COLTER - EAST



NO REPAIR AT FLASHING,
SEE PAINT SCOPE

NO CONCRETE REPAIR
WORK AT CANOPY,
DOCK OR CURBS.

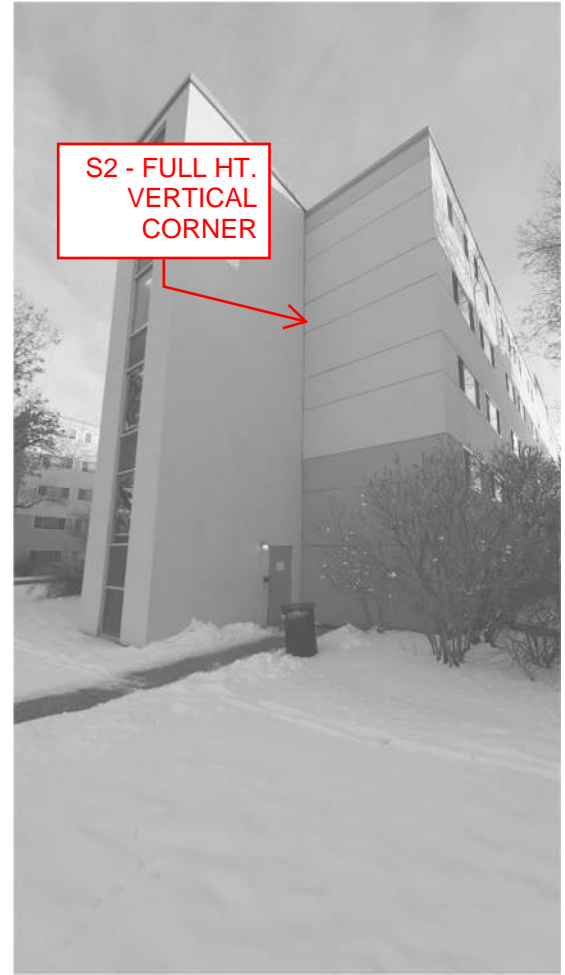
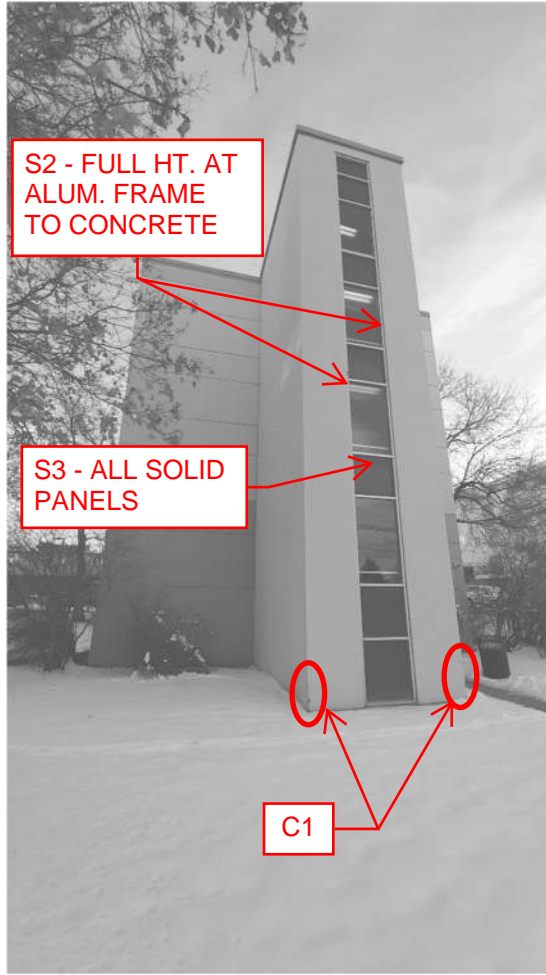
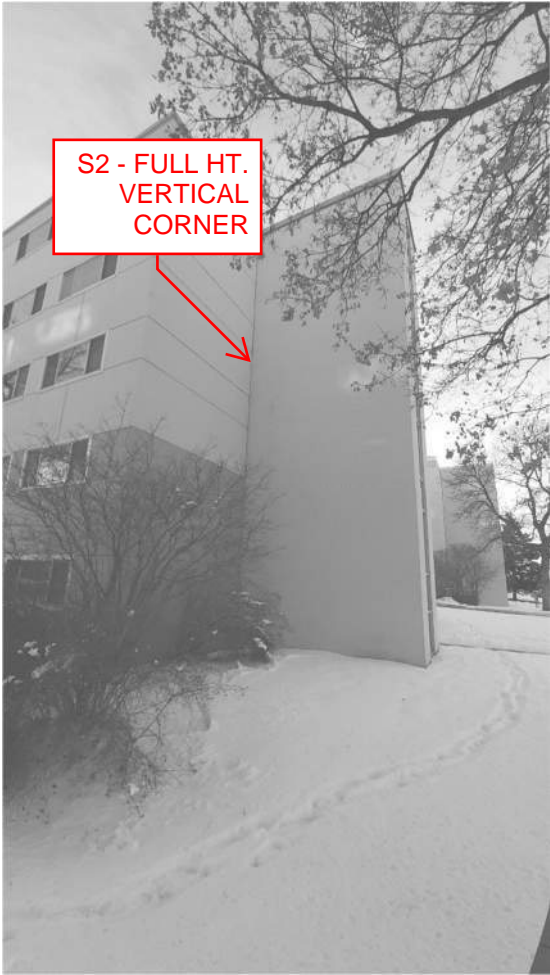
COLTER – EAST



W1 - ALL COLTER
WINDOWS, UNLESS
OTHERWISE NOTED

S4

COLTER - EAST



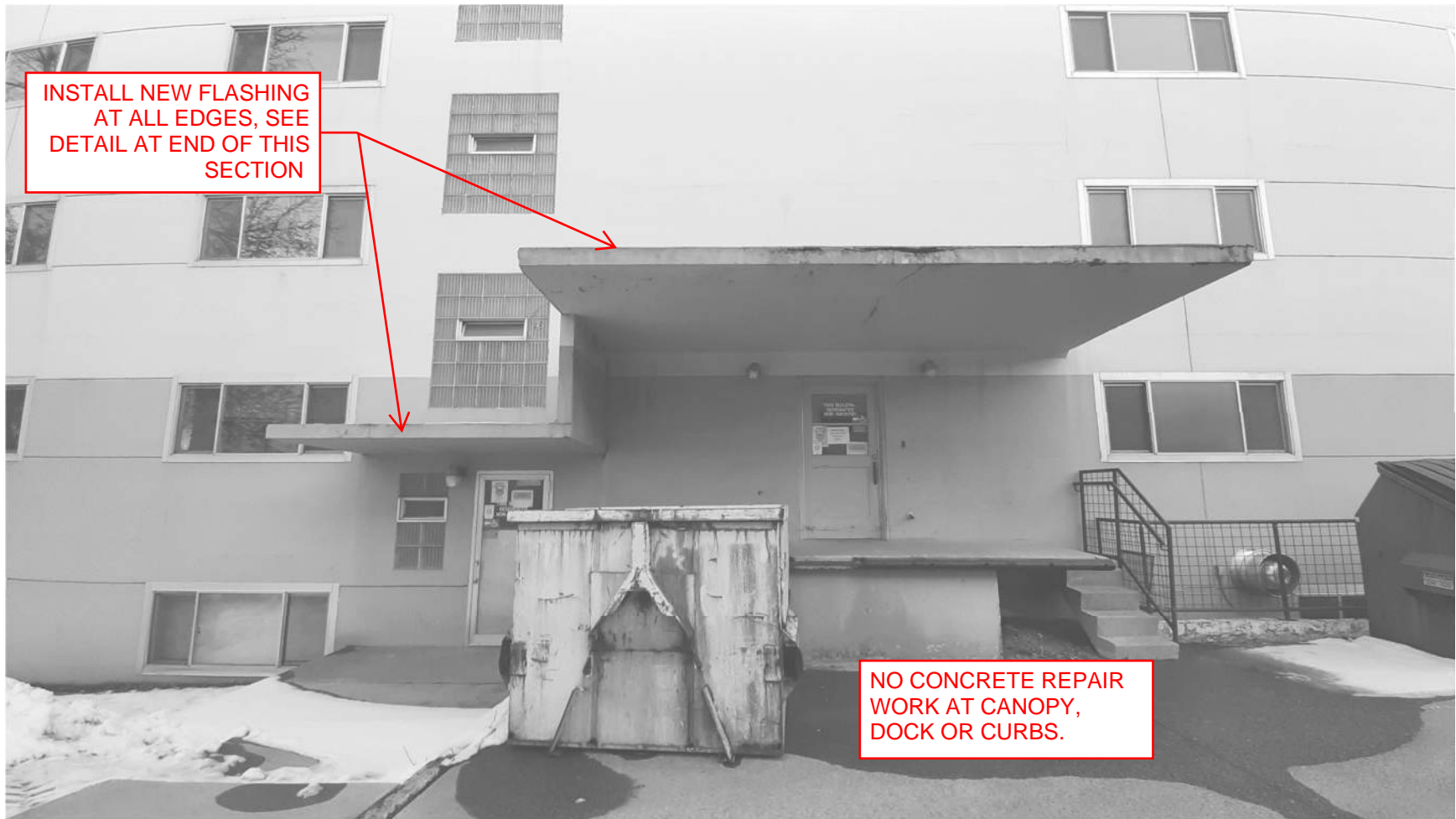
MULLAN - NORTH



W1 - ALL MULLAN
WINDOWS, UNLESS
OTHERWISE NOTED

W2 - (4)

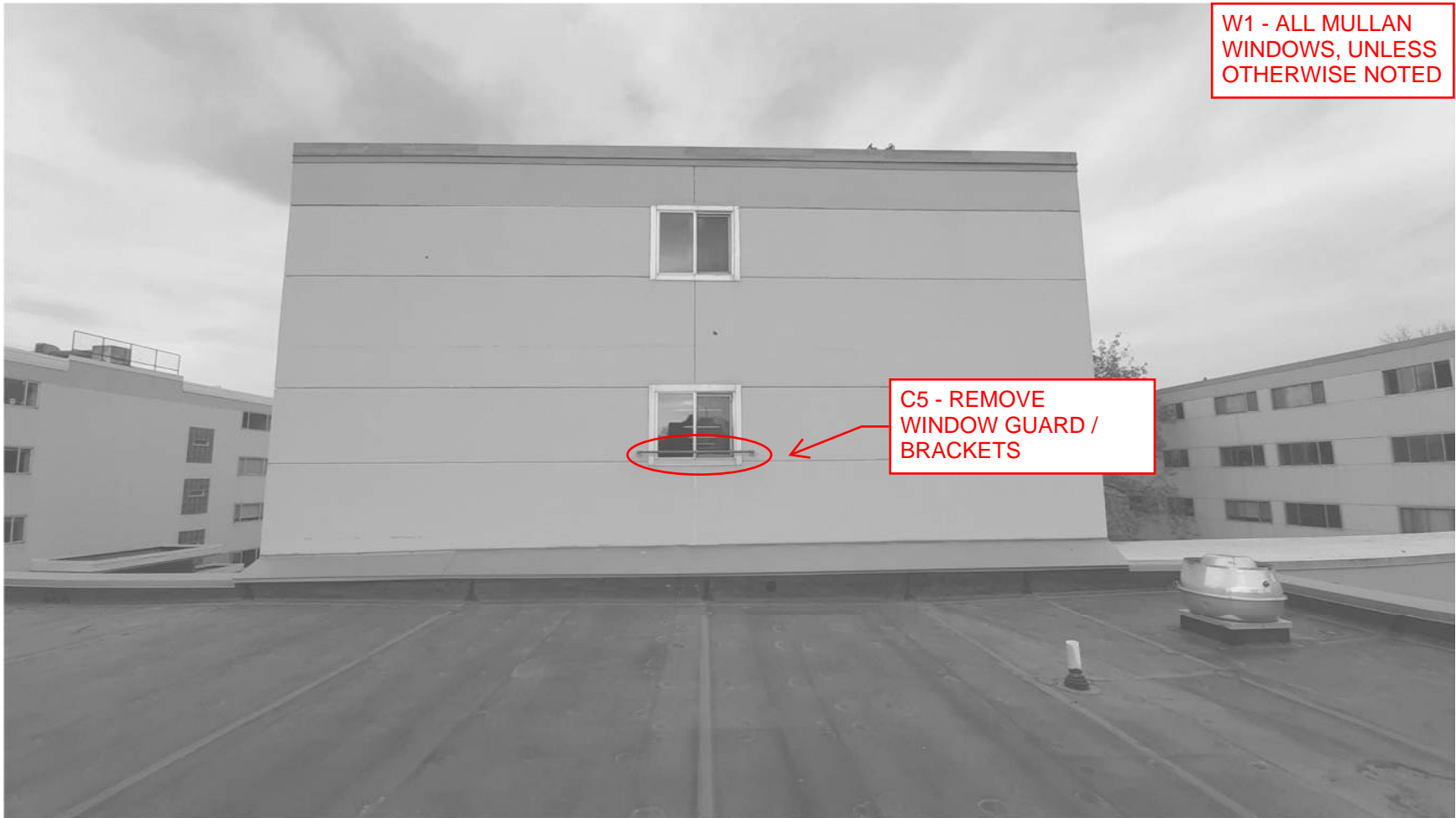
MULLAN - WEST



INSTALL NEW FLASHING
AT ALL EDGES, SEE
DETAIL AT END OF THIS
SECTION

NO CONCRETE REPAIR
WORK AT CANOPY,
DOCK OR CURBS.

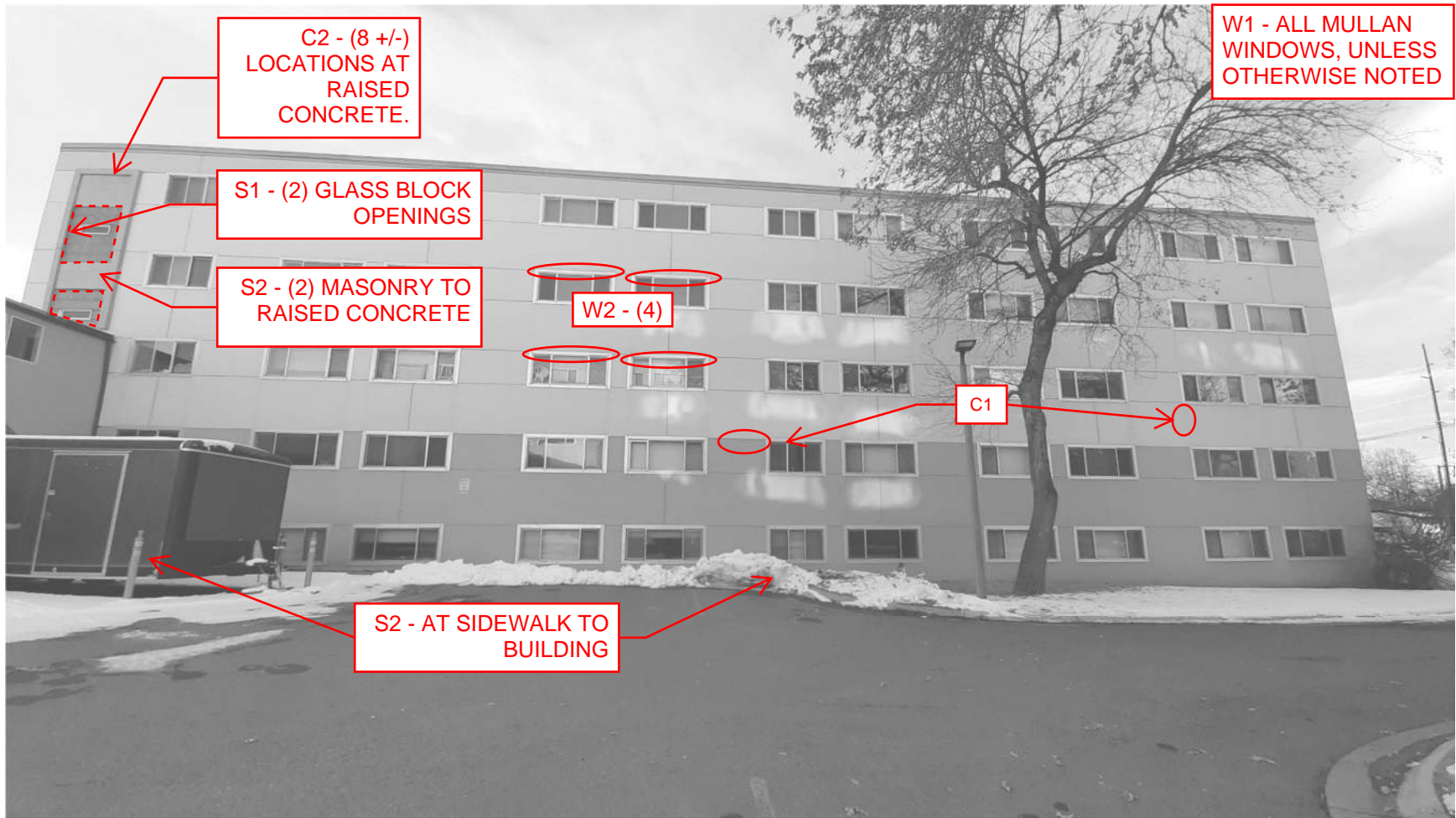
MULLAN - WEST



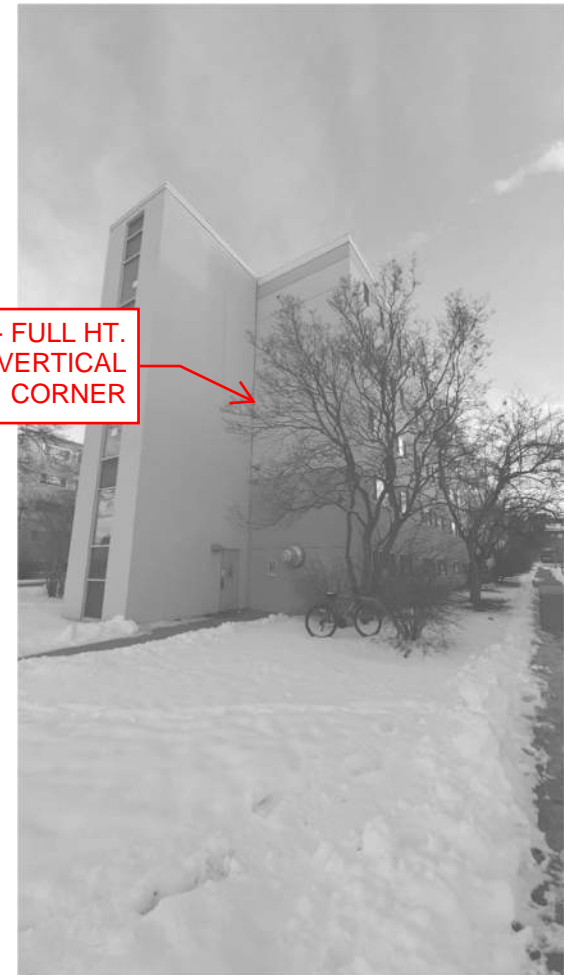
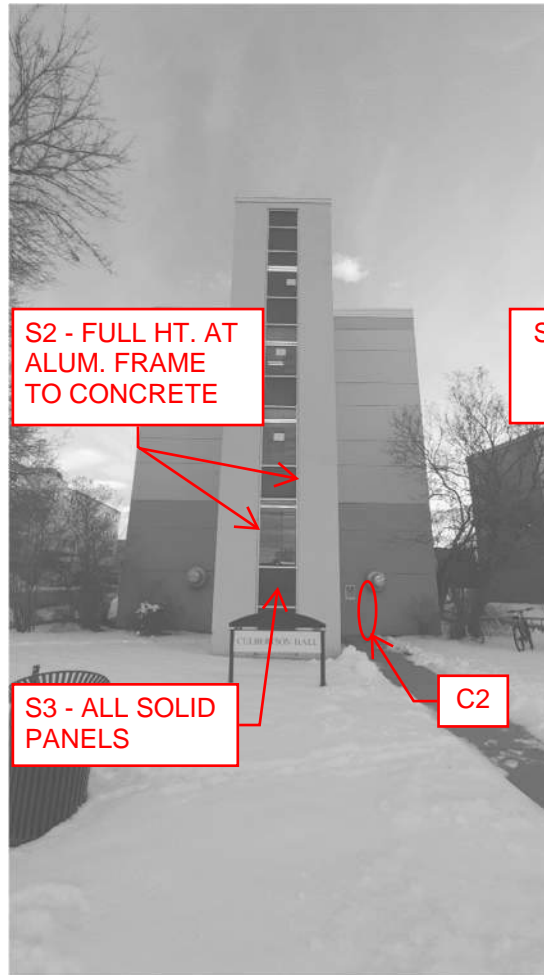
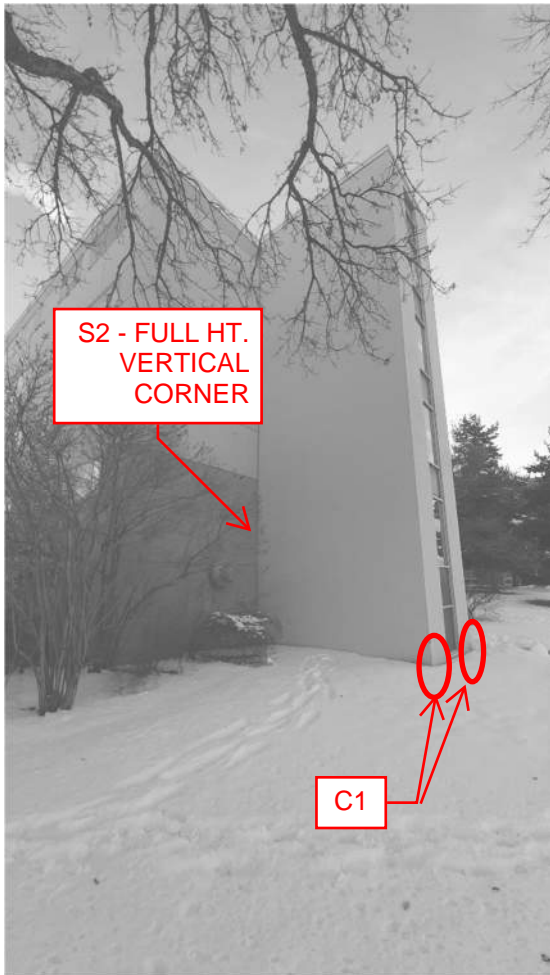
W1 - ALL MULLAN
WINDOWS, UNLESS
OTHERWISE NOTED

C5 - REMOVE
WINDOW GUARD /
BRACKETS

MULLAN - SOUTH



MULLAN - EAST



CULBERTSON - NORTH



S2 - ALL
CULBERTSON
WINDOWS

C1

CULBERTSON - WEST



S2 - ALL
CULBERTSON
WINDOWS

REMOVE WOOD BOARD AND
FASTENERS. C1 PATCH

C1

CULBERTSON - WEST

C2 - (12+/-) LOCATIONS AT RAISED CONCRETE.

S2 - (3) MASONRY TO RAISED CONCRETE

S1 - (3) GLASS BLOCK OPENINGS



CULBERTSON - WEST



S2 - ALL
CULBERTSON
WINDOWS

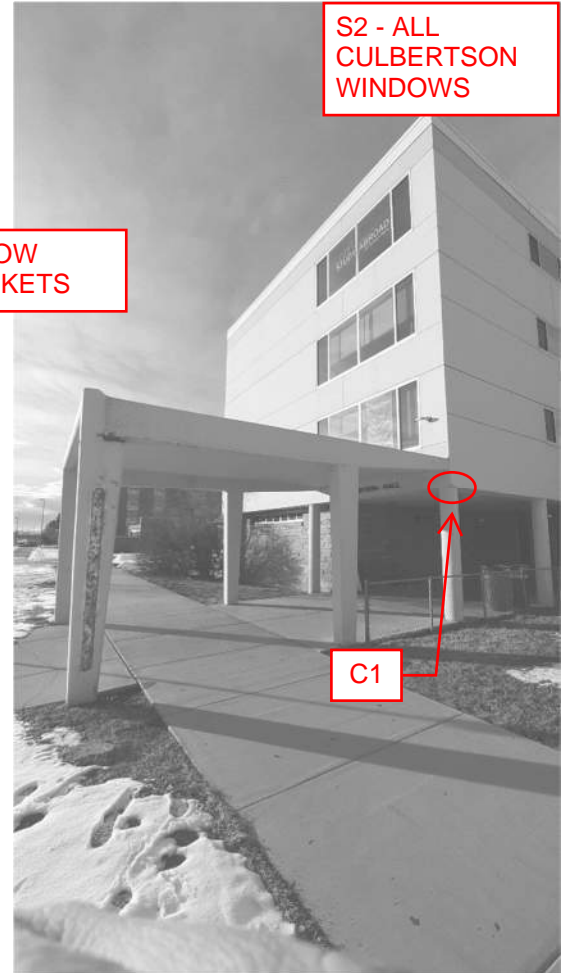
C2

C1

CULBERTSON - WEST



C5 - (2) WINDOW
GUARD
BRACKETS



S2 - ALL
CULBERTSON
WINDOWS

C1

CULBERTSON - SOUTH



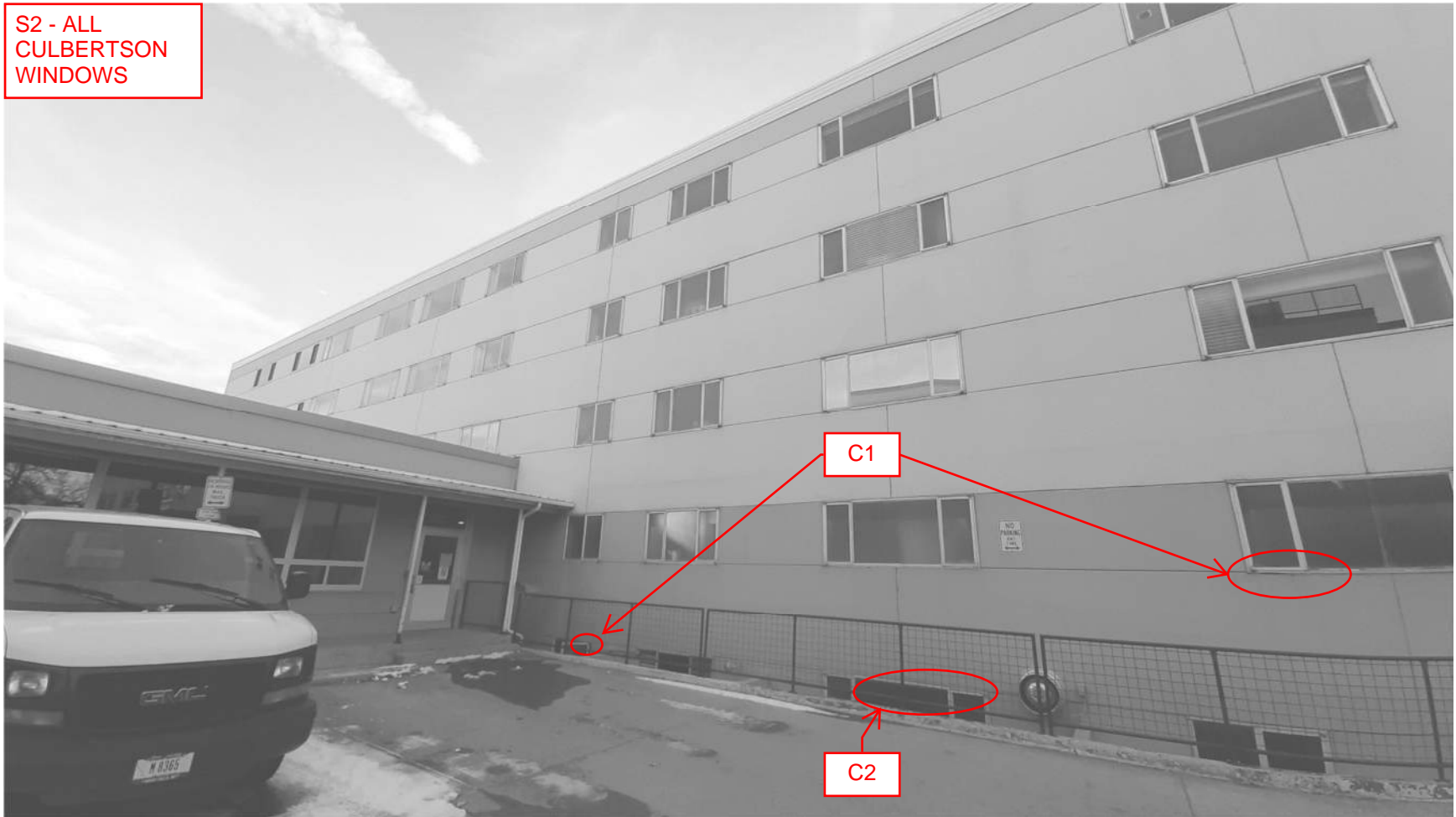
CULBERTSON - SOUTH



S2 - ALL
CULBERTSON
WINDOWS

CULBERTSON - EAST

S2 - ALL
CULBERTSON
WINDOWS



CULBERTSON - EAST



S2 - ALL
CULBERTSON
WINDOWS

STRAIGHTEN AND
REATTACH FLASHING
AT CORNER

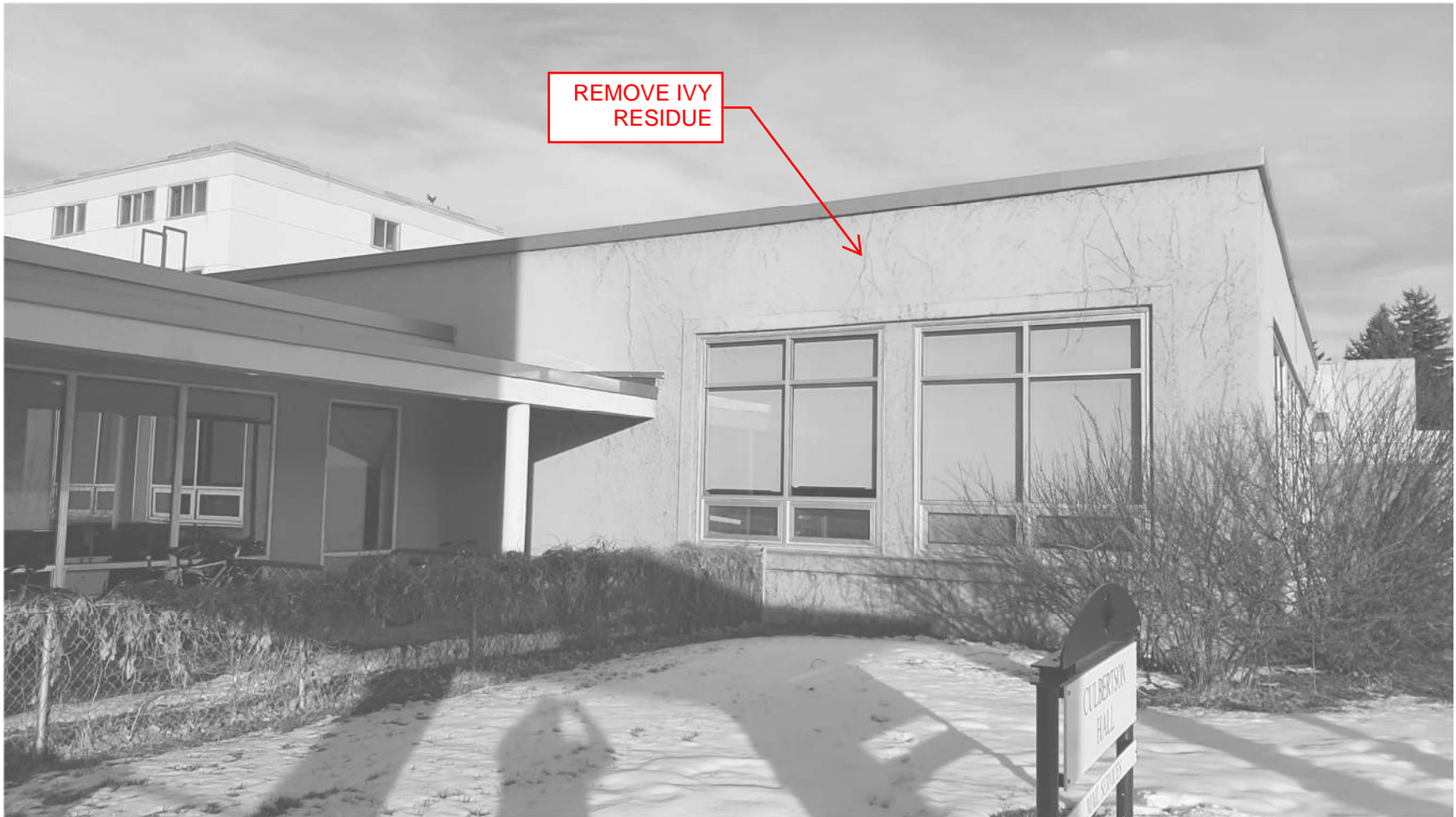
NO CONCRETE REPAIR
WORK AT CANOPY,
DOCK OR CURBS.

CULBERTSON - EAST

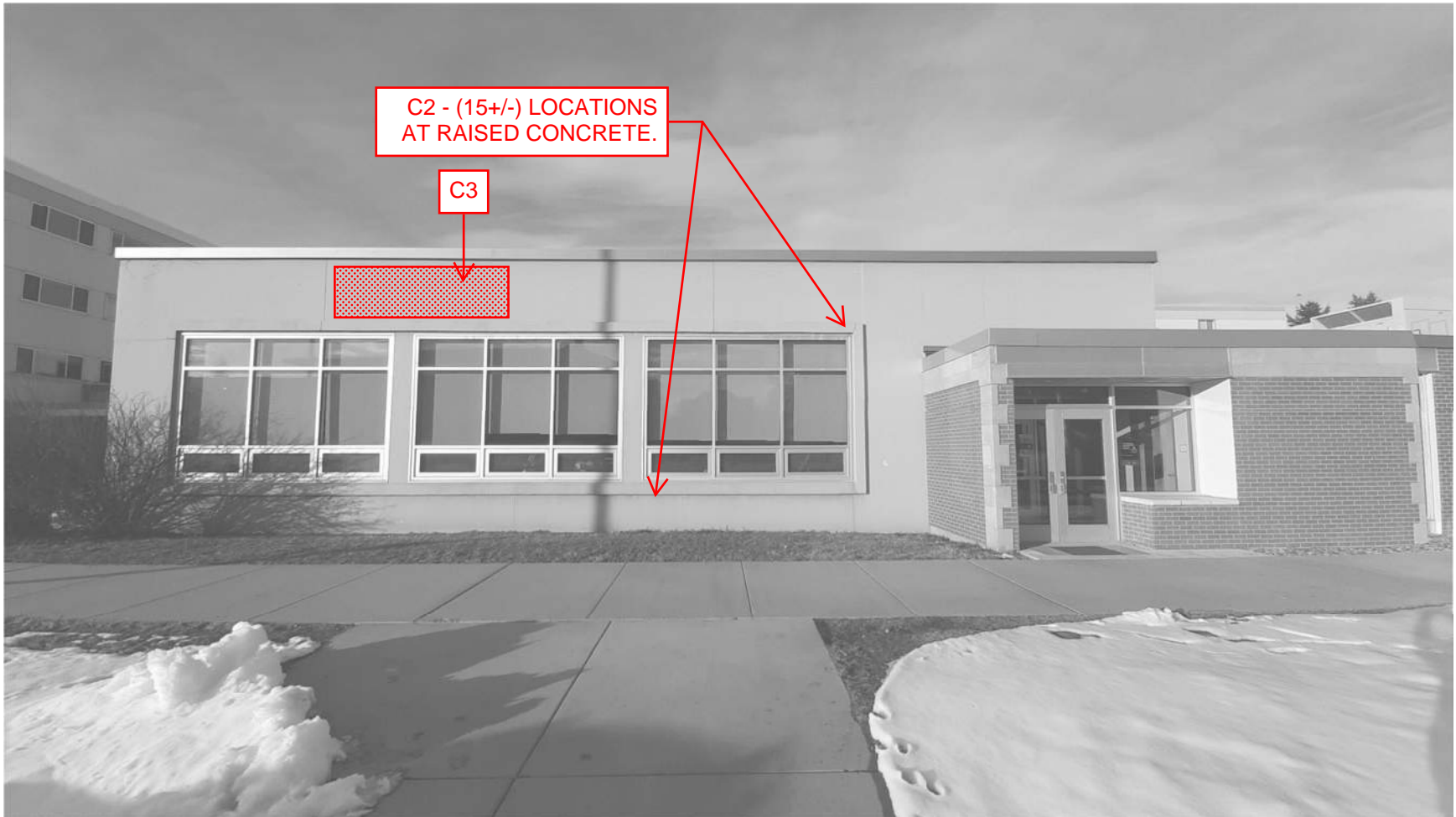


VIEW SHOWN
FOR REFERENCE

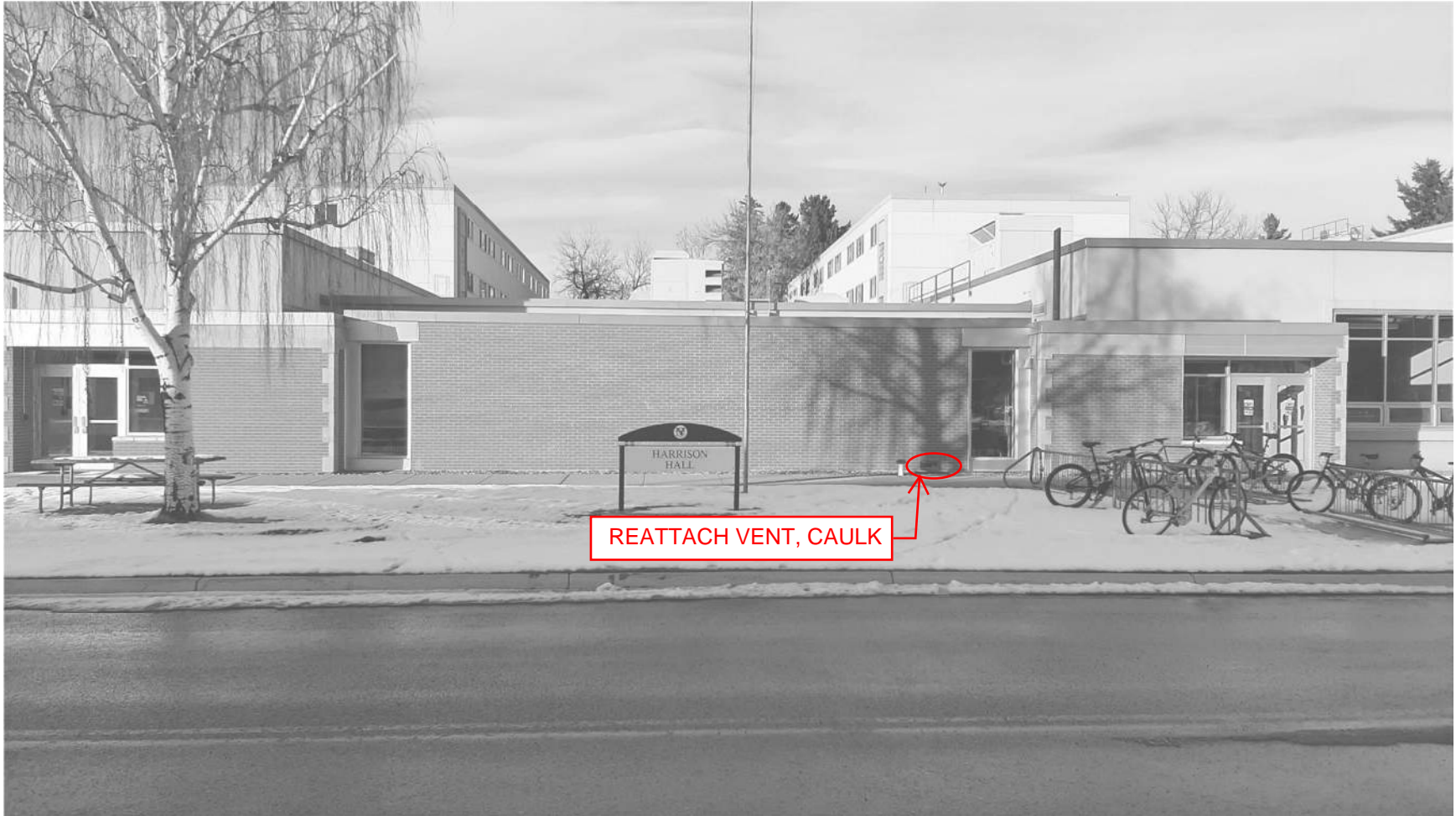
HARRISON - SOUTH



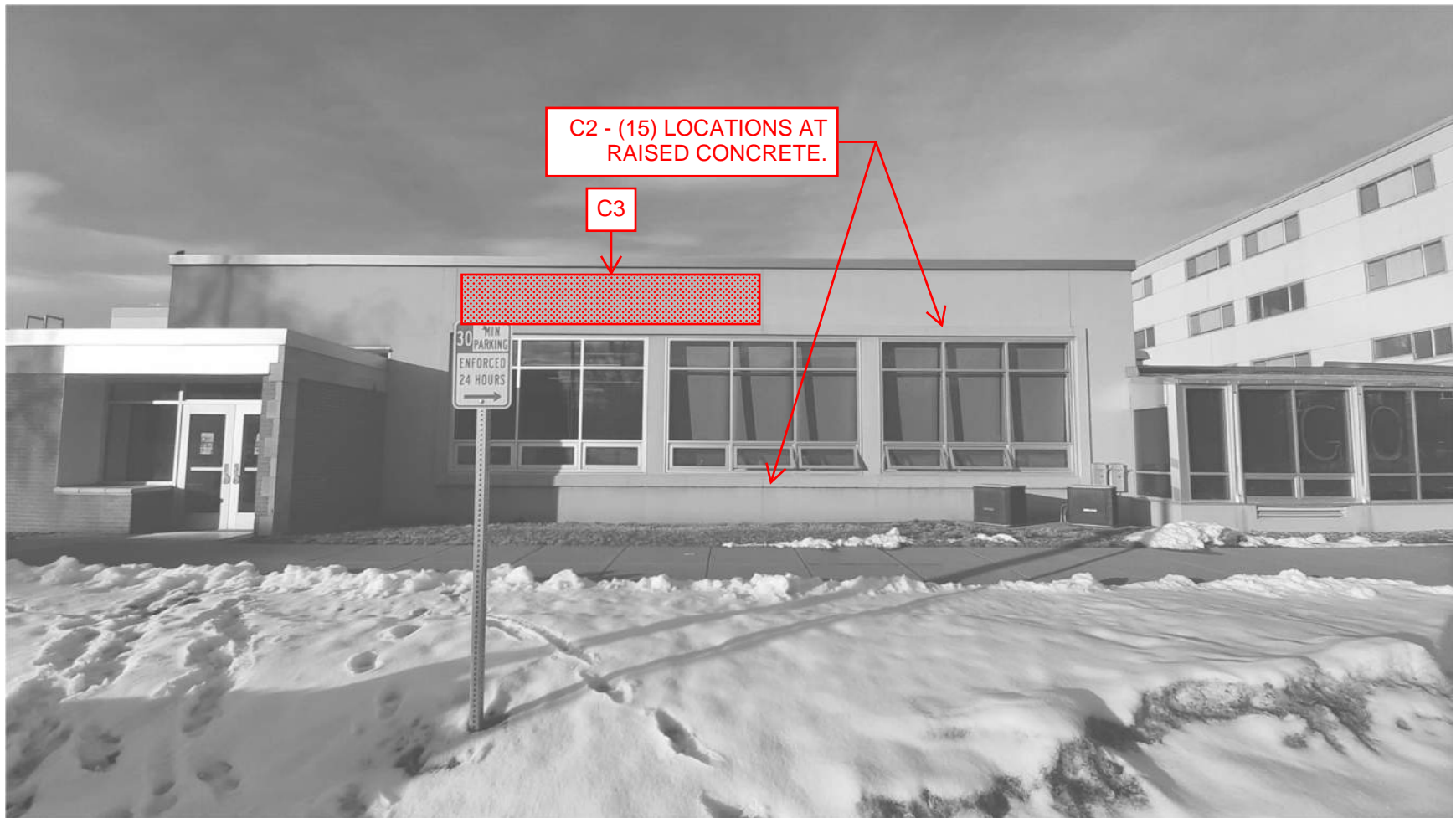
HARRISON - SOUTH



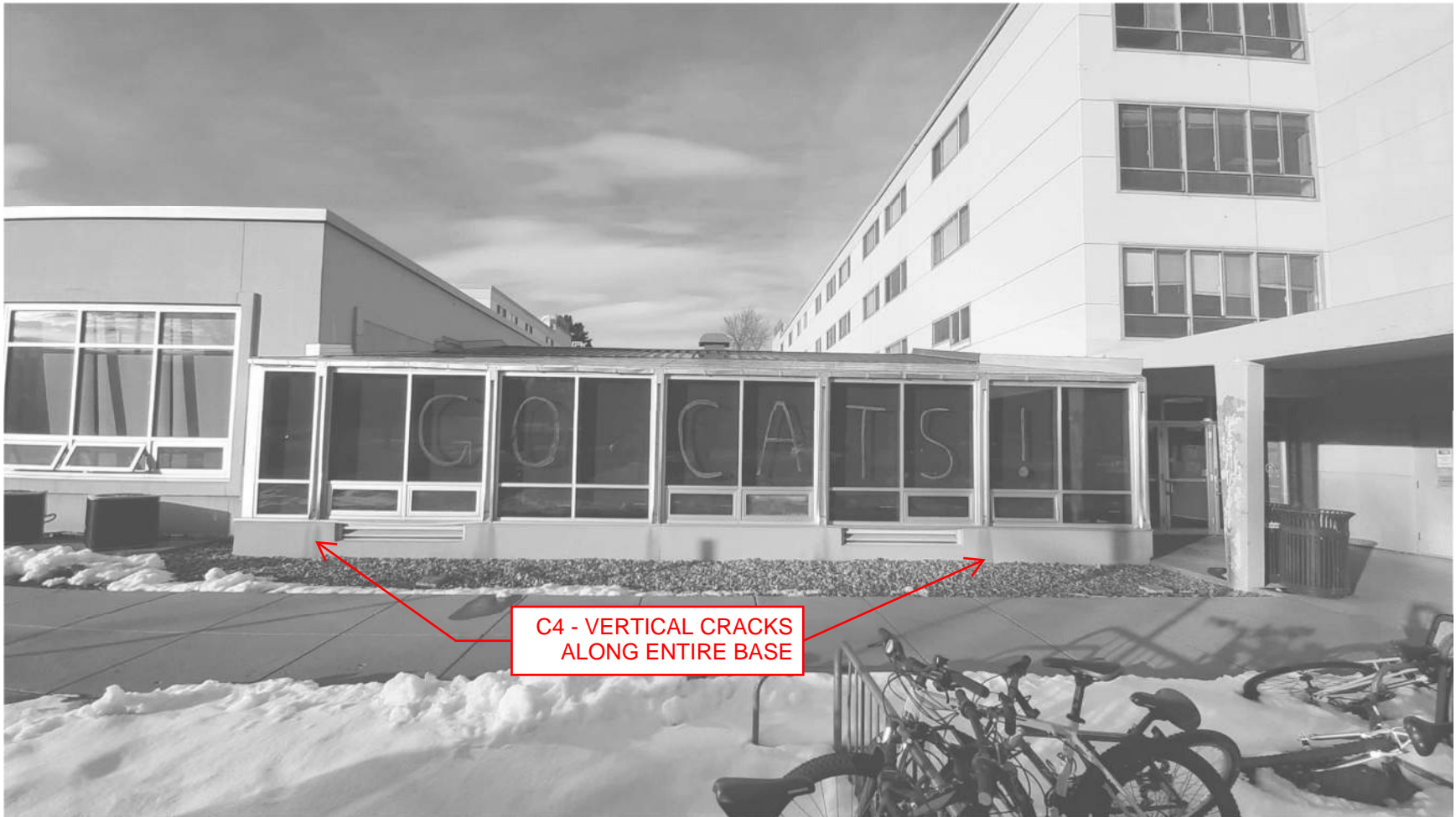
HARRISON - SOUTH



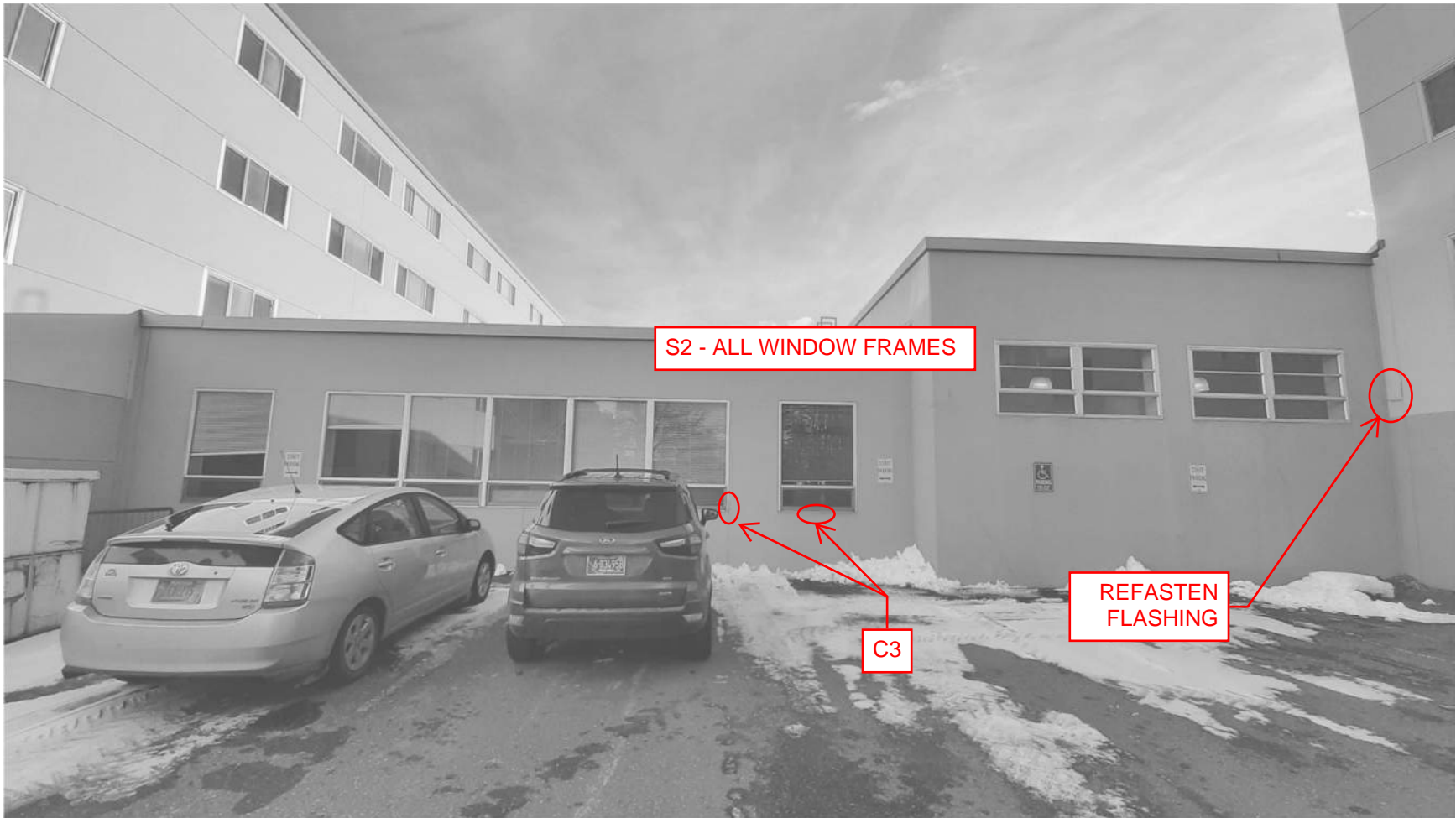
HARRISON - SOUTH



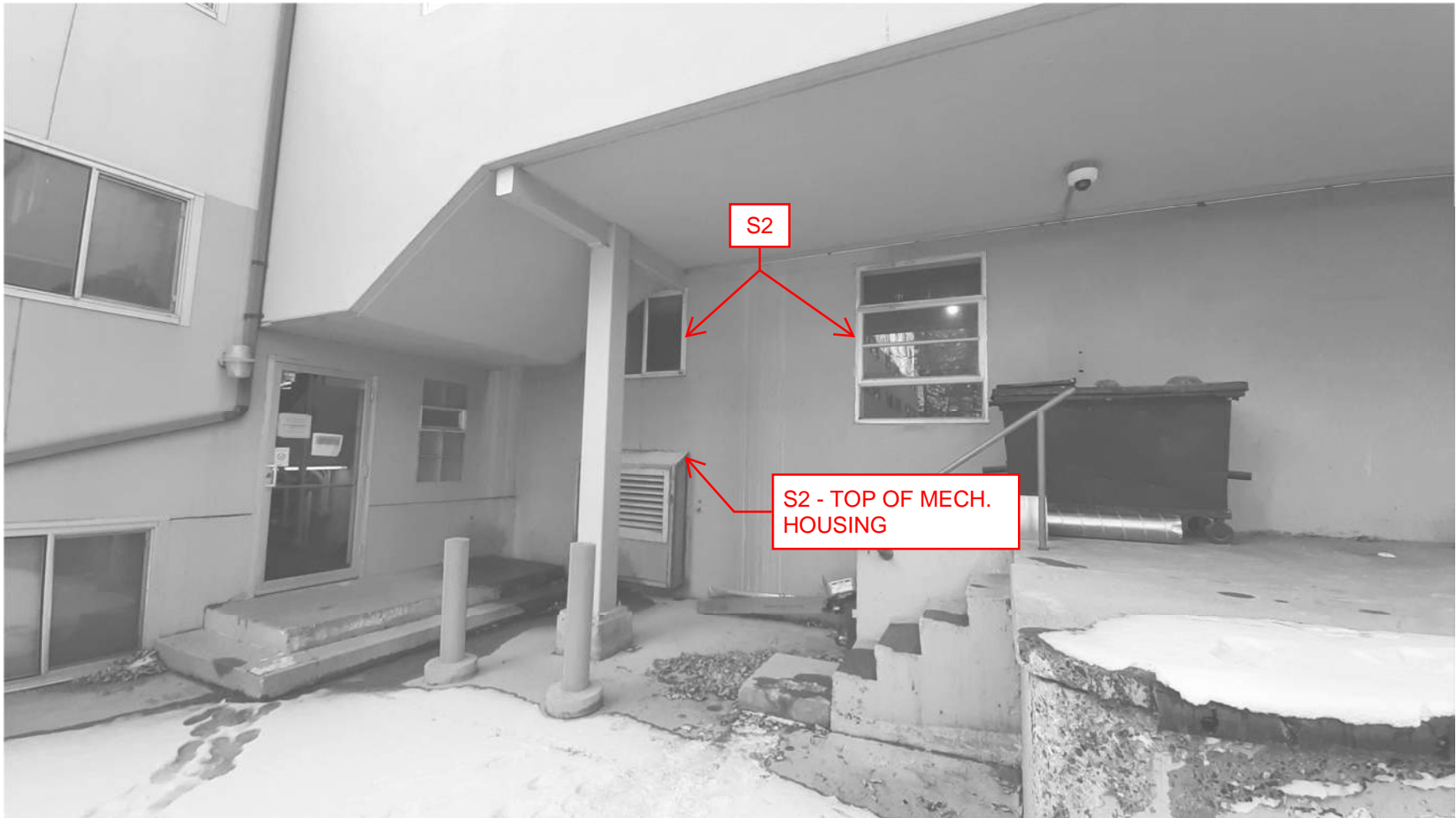
HARRISON - SOUTH



HARRISON - SOUTH



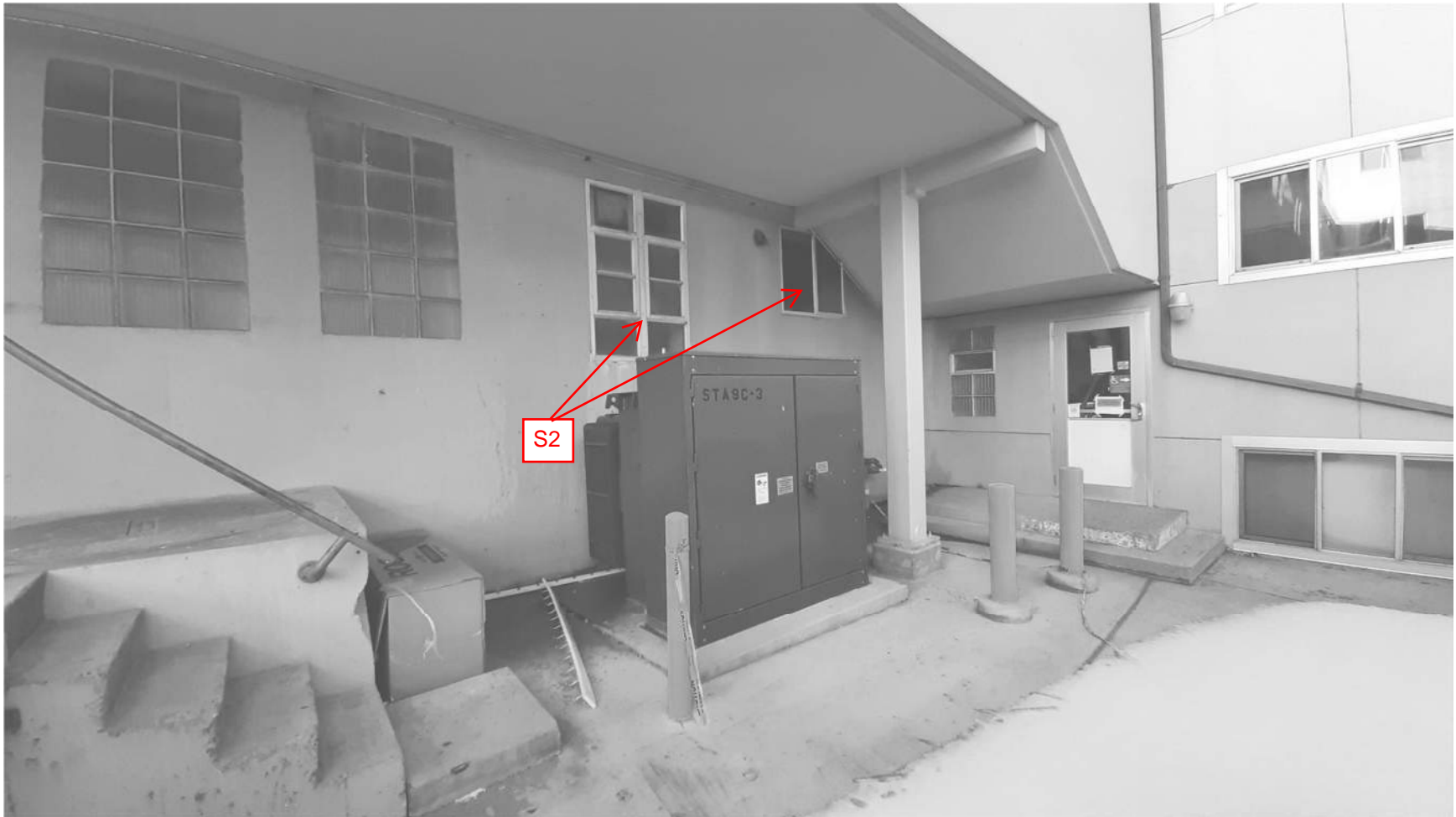
COURTYARD – NORTH
(between Pryor / Colter)



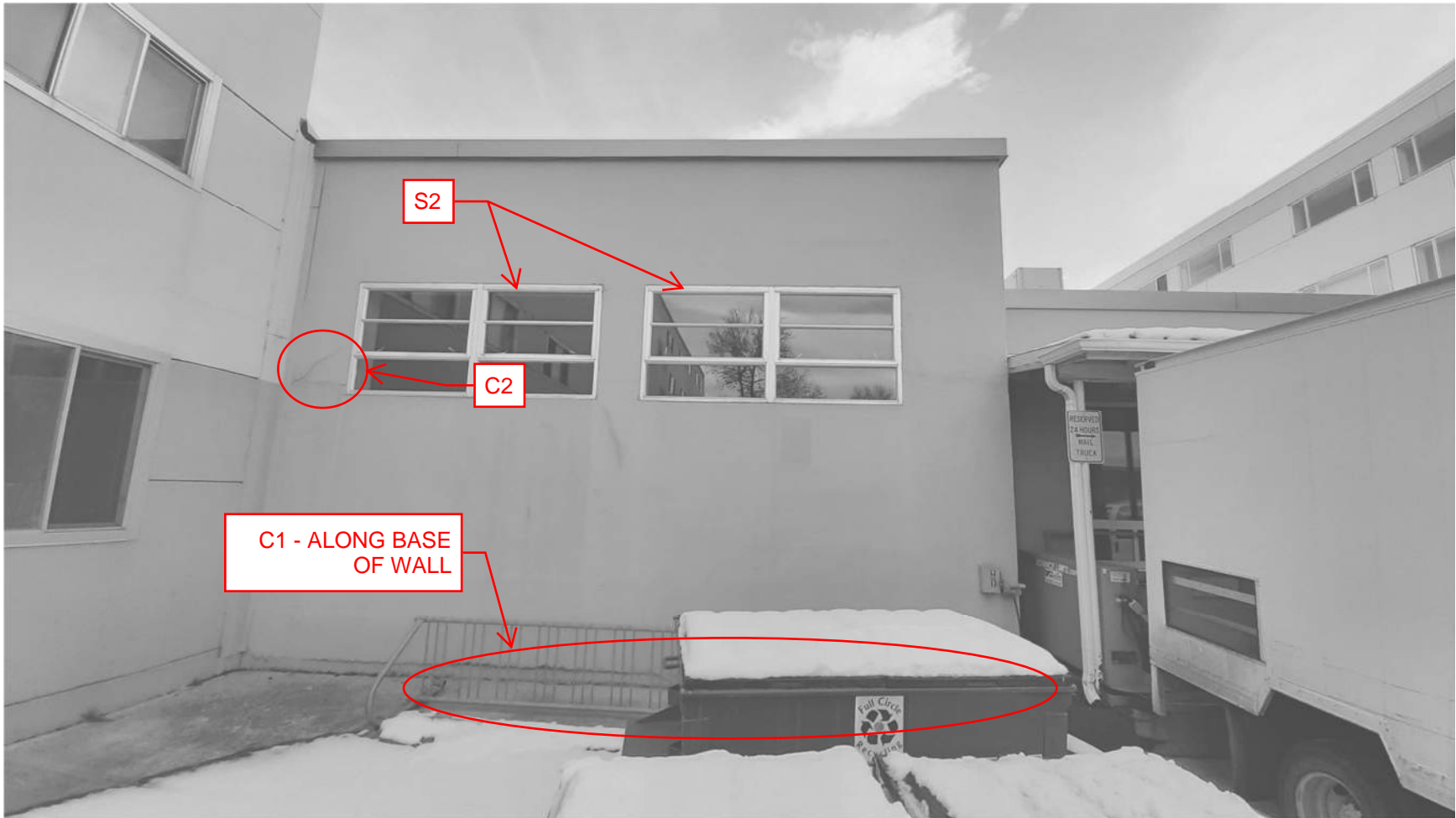
COURTYARD – NORTH
(between Colter / Mullan)



COURTYARD – NORTH
(between Colter / Mullan)



COURTYARD - NORTH
(between Colter / Mullan)



COURTYARD - NORTH
(between Mullan / Culbertson)



COURTYARD - NORTH
(between Mullan / Culbertson)



VIEWS SHOWN
FOR REFERENCE

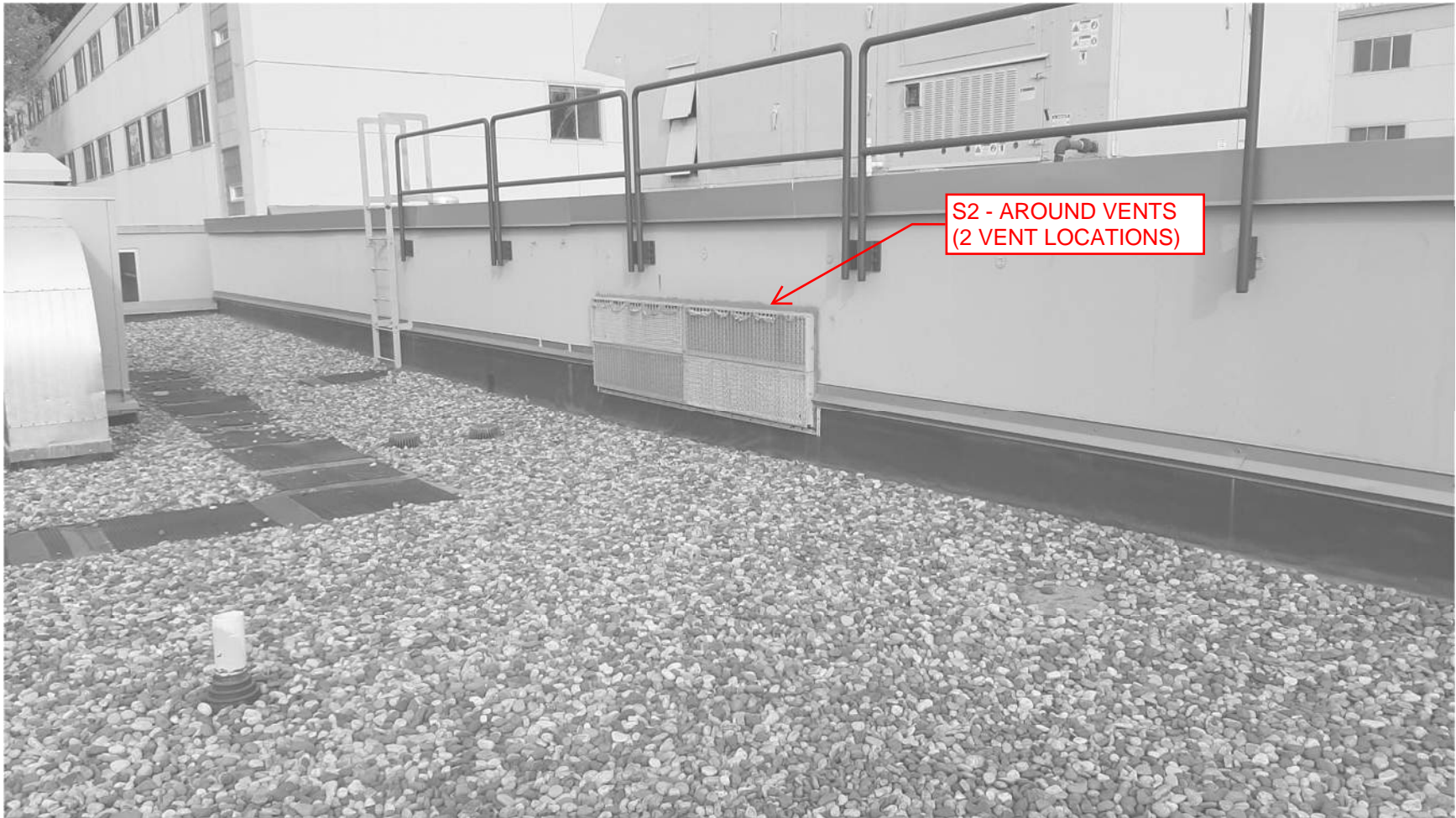


COURTYARD – WELLS
(at Mullan / Culbertson)



COURTYARD – WELLS

(at Colter / Pryor)



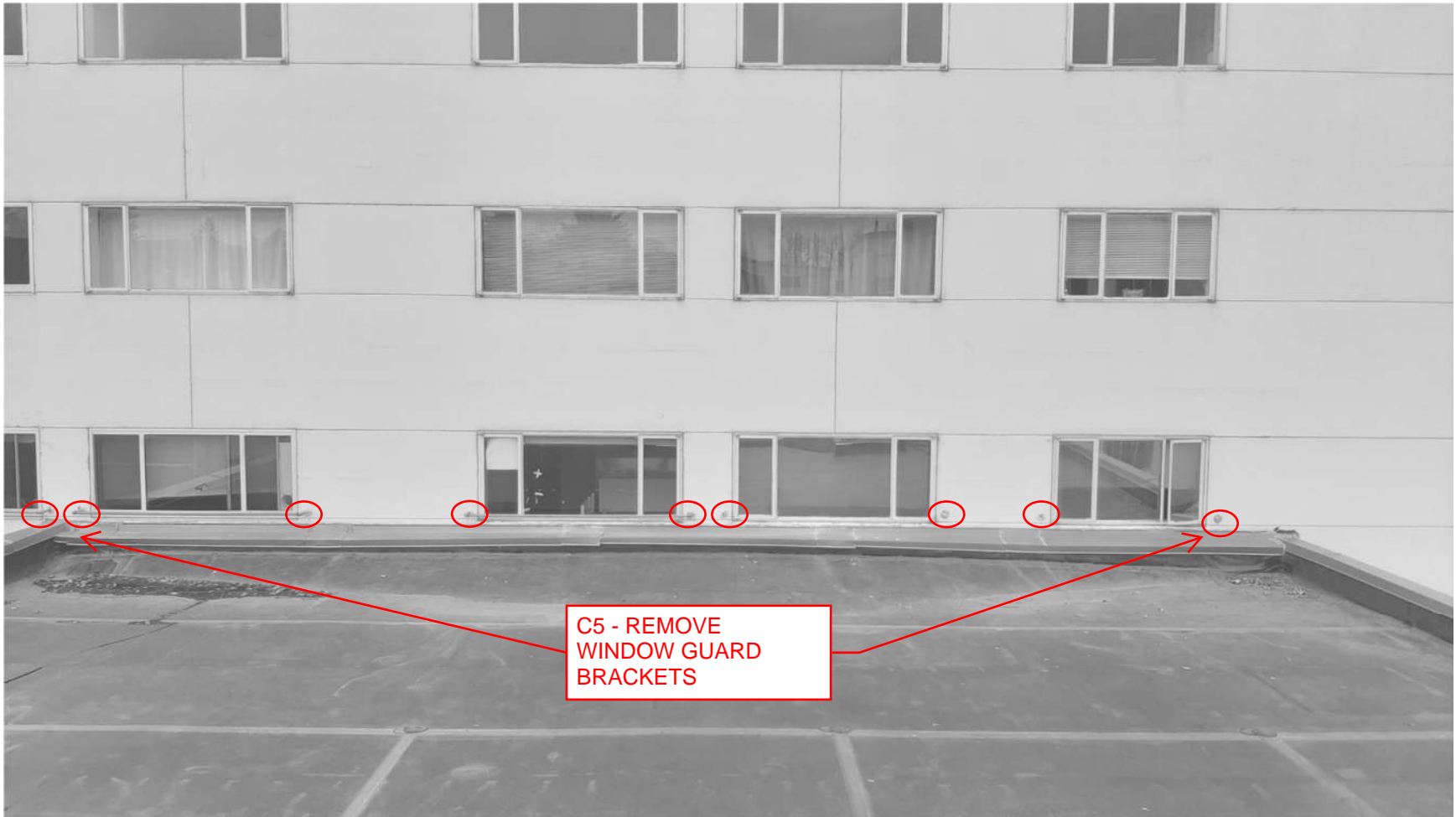
S2 - AROUND VENTS
(2 VENT LOCATIONS)

ROOF - LOWER
(typical lower roof wall)

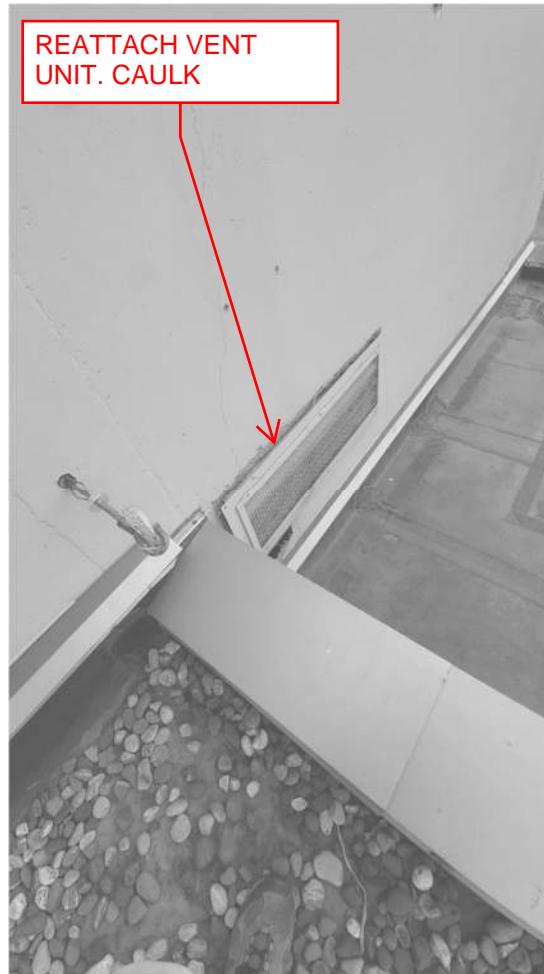


ROOF - LOWER

(South side of Colter / Mullan connector)



ROOF - LOWER
(next to Culbertson)



REATTACH VENT
UNIT. CAULK

ROOF - LOWER

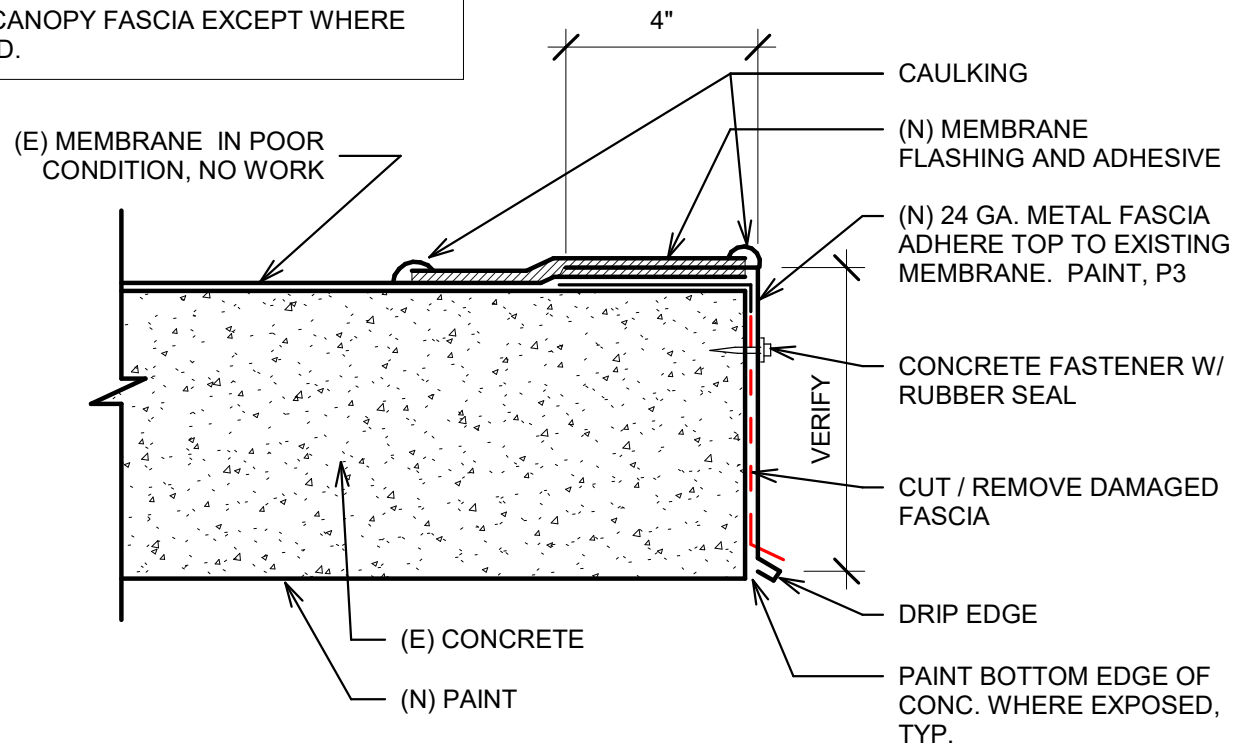


TYP. UPPER ROOF
SHOWN FOR
REFERENCE
(4 LOCATIONS)

ROOF - UPPER

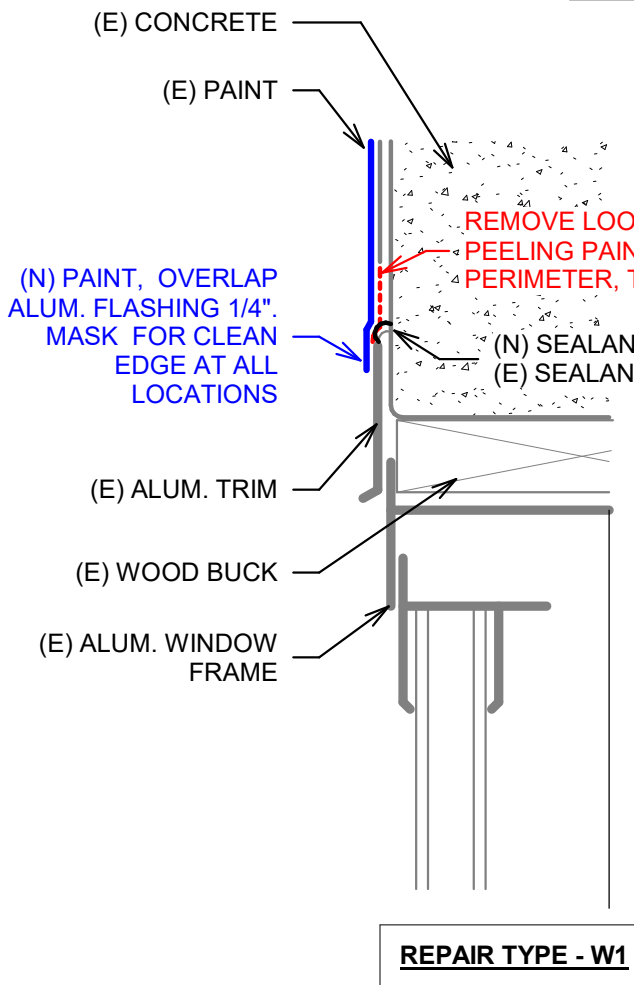
CANOPY REPAIR NOTES:

- NO REPAIR TO CANOPY CONCRETE.
- PAINT CANOPY AS INDICATED ON PHOTO PLANS.
- REPAIR/REPLACE METAL FASCIA WHERE INDICATED ON PHOTO PLANS
- PAINT ALL METAL CANOPY FASCIA EXCEPT WHERE OTHERWISE NOTED.



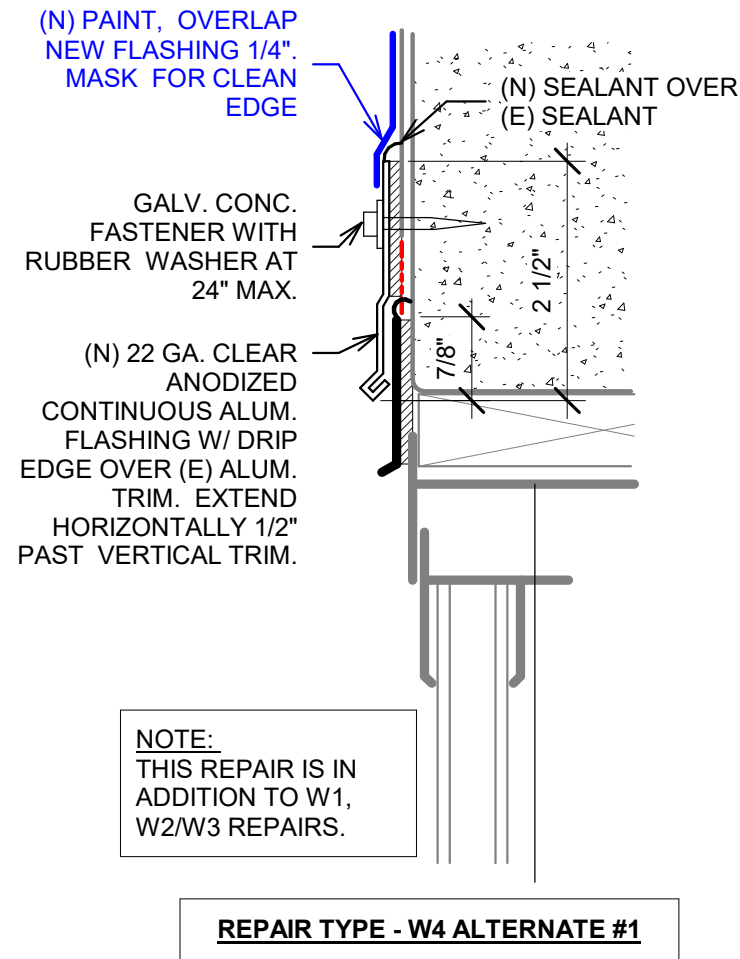
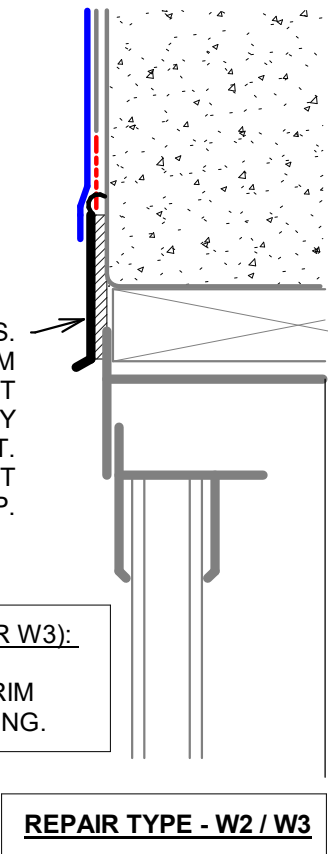
CANOPY FLASHING DETAIL
6" = 1'-0"

GENERAL NOTES:
 ALL REPAIRS APPLY ONLY TO PRYOR,
 COLTER, AND MULLAN. NOT CULBERSTON.



REMOVE LOOSE TRIMS.
 CLEAN RESIDUE FROM TRIM AND WALL. RESET TRIM WITH HEAVY DUTY CONST. ADHESIVE. SEALANT ALONG TOP.

NOTE (REPAIR W3):
 PROVIDE (N) MATCHING TRIM WHERE MISSING.



NOTE:
 THIS REPAIR IS IN ADDITION TO W1, W2/W3 REPAIRS.

WINDOW TRIM REPAIR DETAILS
 6" = 1'-0"

Section 3 - Paint Scope

General Notes:

- The key symbols “P#” describe schematic paint color. Exact colors to be selected by architect and owner.
- The following photo pages are keyed to show typical locations for each paint color.
- All wall surfaces must be prepped and cleaned in accordance to product requirements.
- Remove all wall signage prior to painting. Paint wall, reattach.
- Remove all downspouts prior to painting. Paint wall and downspouts, reattach.
- The building paint at concrete and stucco walls is elastomeric 2-coat system. See Elastomeric Paint Specification.
- Paint doors, frames, railings, flashings, etc. per Exterior Painting specification.

Painting Key Notes:

P1 – off-white

- Primary field color at wings
- Ceiling at Pryor and Culbertson entries

P2 – medium gray

- Upper and lower bands at wings. (Same location as existing “salmon”)
- Harrison concrete walls
- South Pryor stair tower
- Round Columns at Pryor and Culbertson entries
- Connector column and beam structure

P3 – dark gray

- Metal roof coping/flushing at wings
- All side canopies including flashing
- Loading docks at courtyards

- Doors/frames at courtyard and north towers (not aluminum units)
- Gutters and downspouts at courtyards
- Wood and steel canopy structure at Mullan/Culbertson courtyard

P4 – blue

- North stair towers (not south Pryor stair tower)
- Raised concrete detail at secondary stairs
- Connector between Colter and Mullan

P5 – gold

- Window panels at stair towers (including Pryor)
- Masonry units between glass block at secondary stairs

P6 – black

- Roof ladders and roof safety railings
- Railings at courtyard

P7 – safety yellow

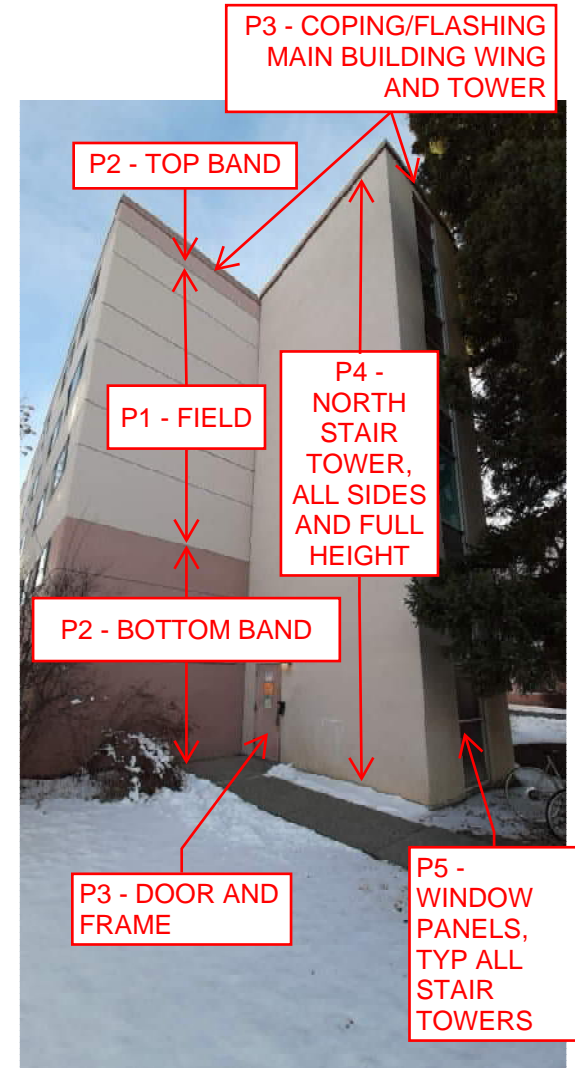
- Courtyard curb (at 4 window wells)

Not Painted

- Travertine at Culbertson and Pryor entries
- Brick and masonry stone at south Harrison
- Anodized or unpainted aluminum (except where otherwise noted)
- Prefinished gray roof flashing/coping at Harrison
- Safety railing at Harrison Roof (existing paint in good condition)

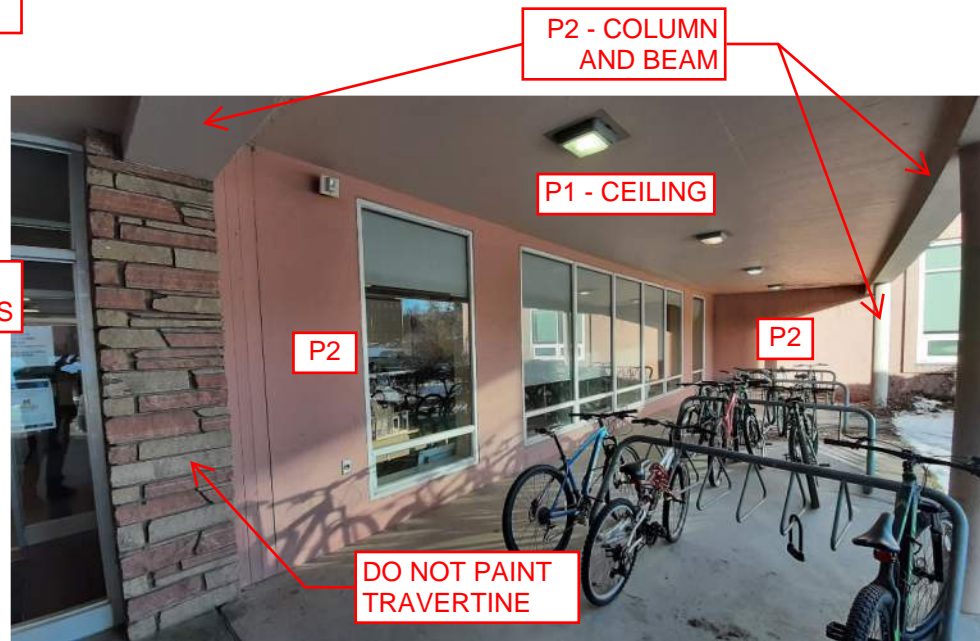
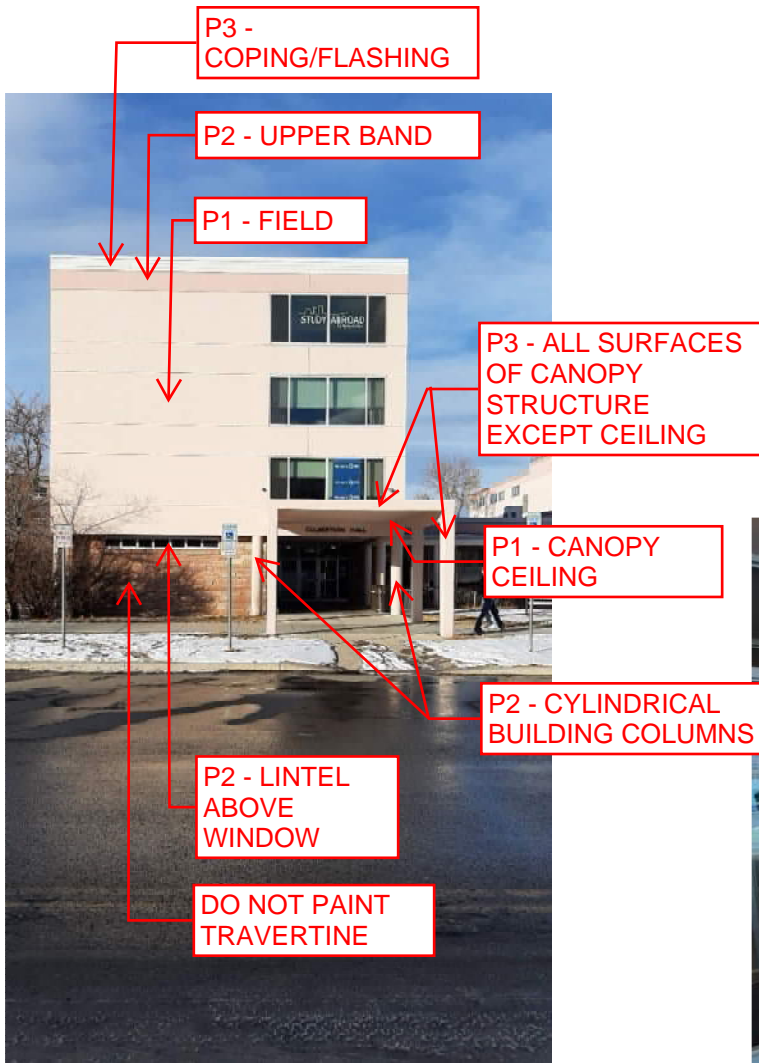


BUILDING WING
(typical at 4 wings)

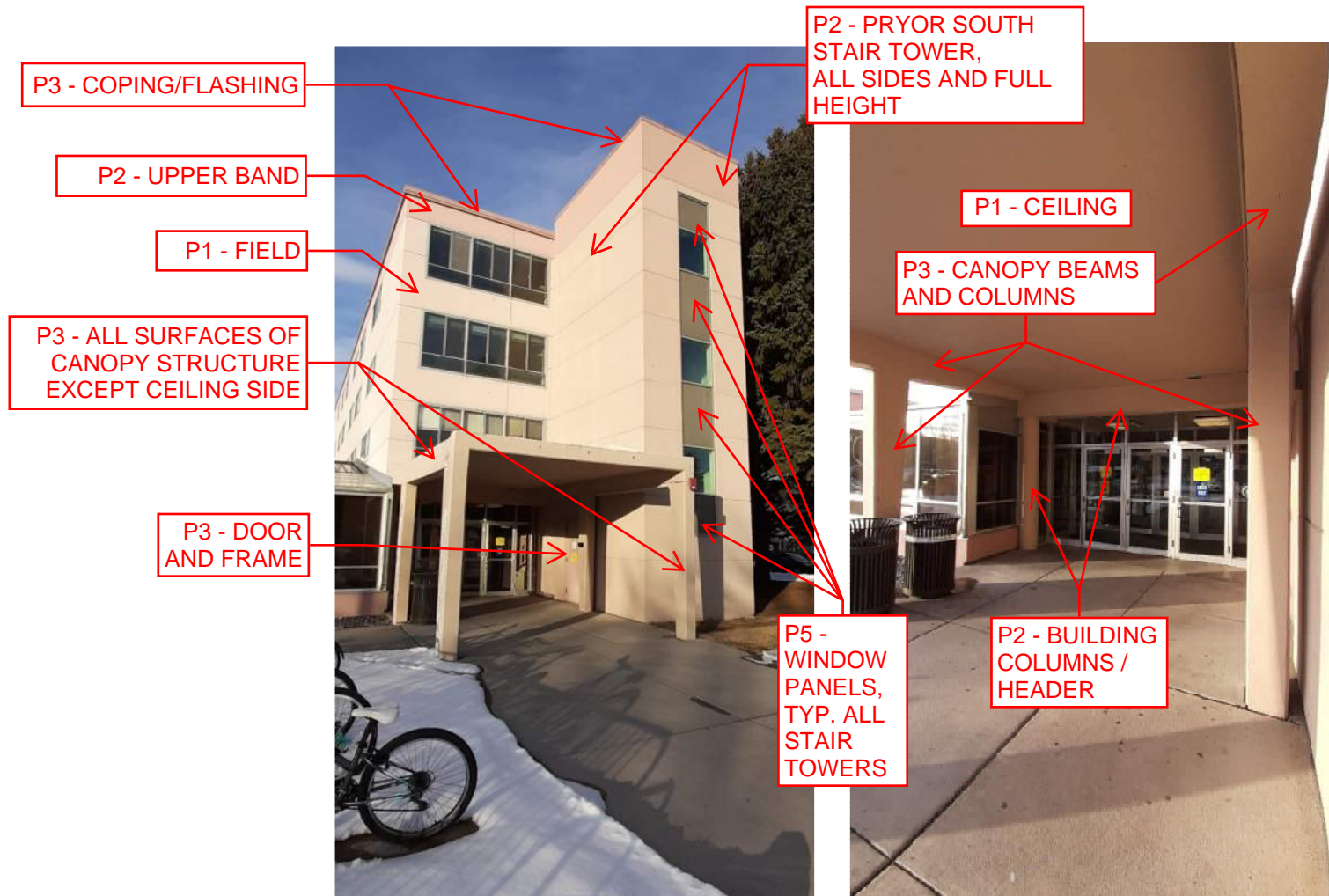


NORTH STAIR TOWER AND ENTRY

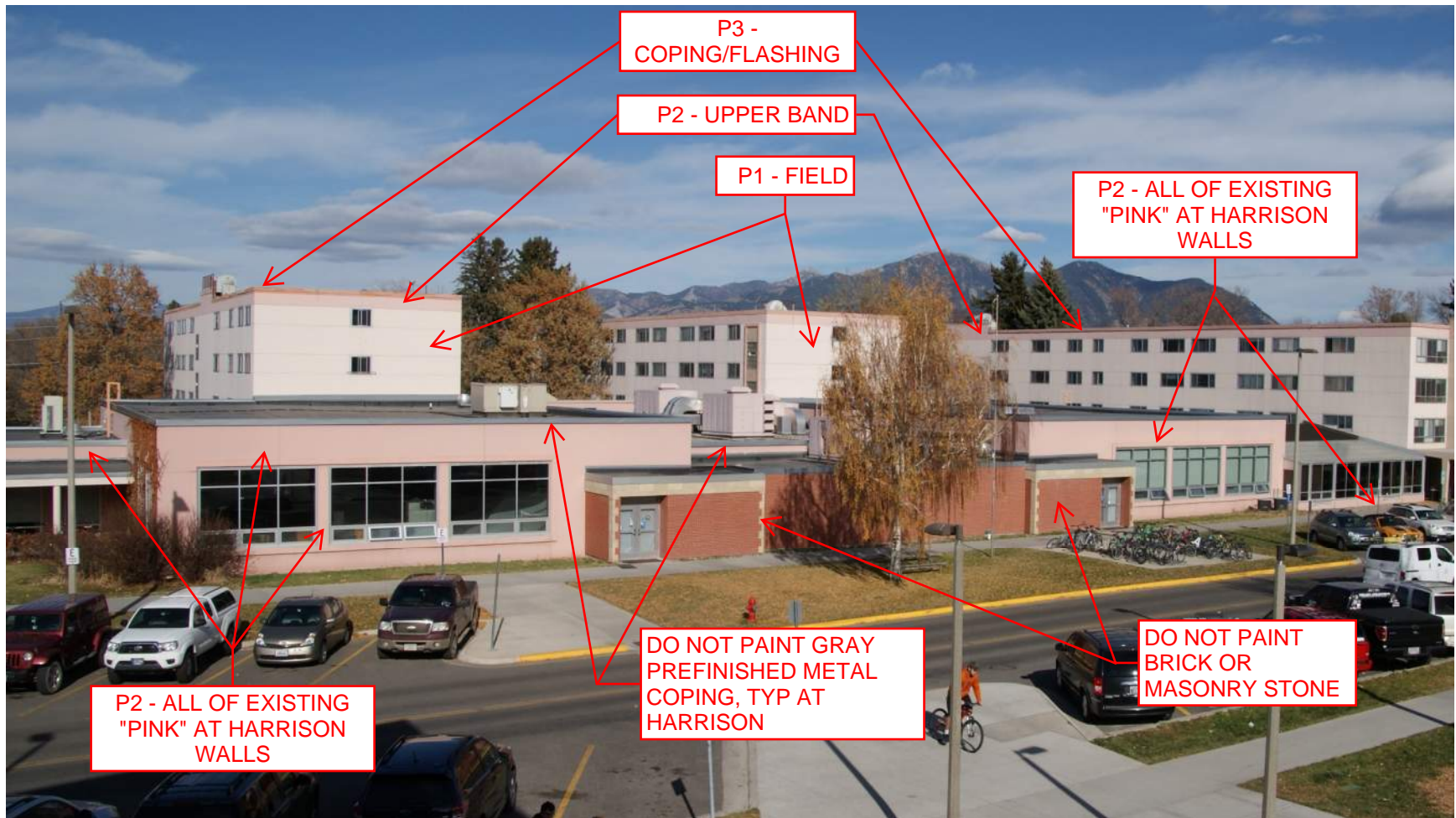
(typical at 4 locations)



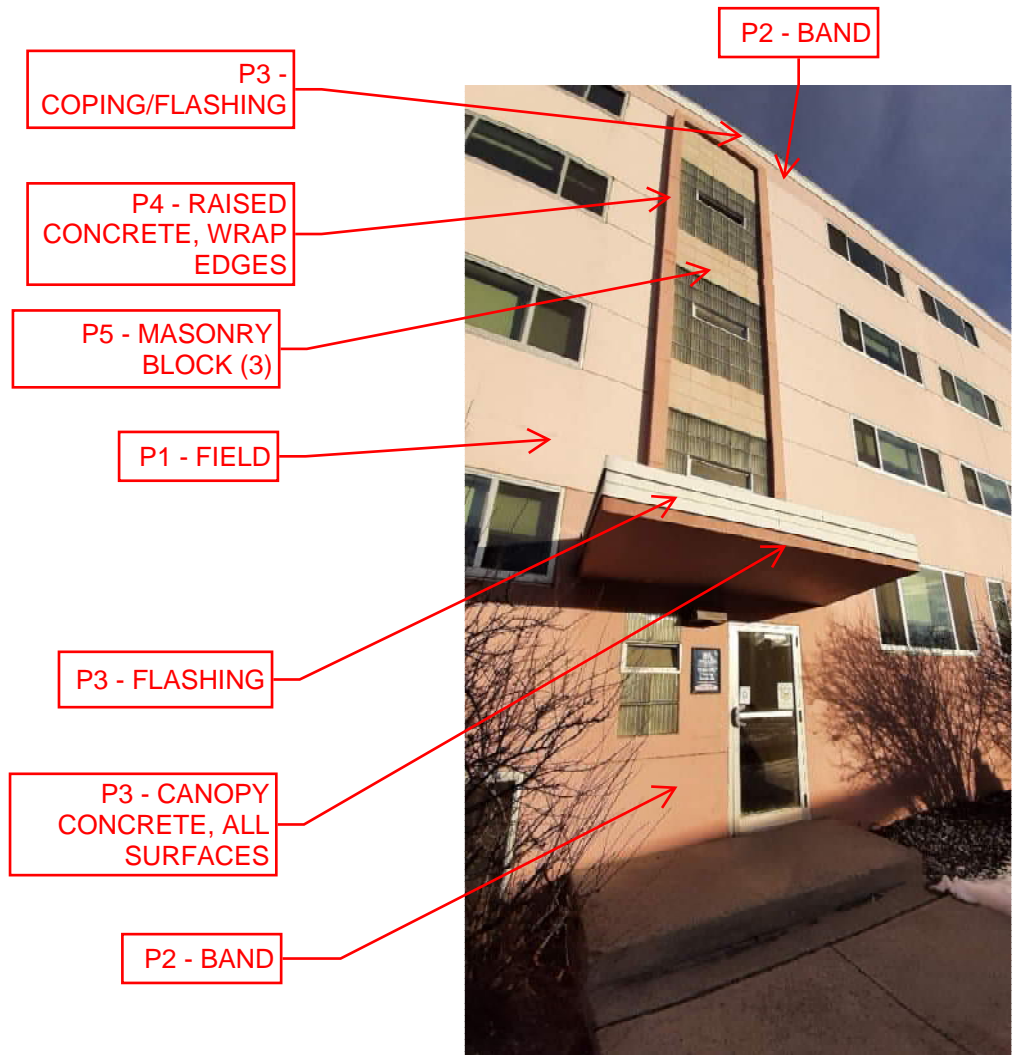
CULBERTSON - SOUTH STAIR TOWER AND ENTRY



PRYOR – SOUTH STAIR TOWER AND ENTRY

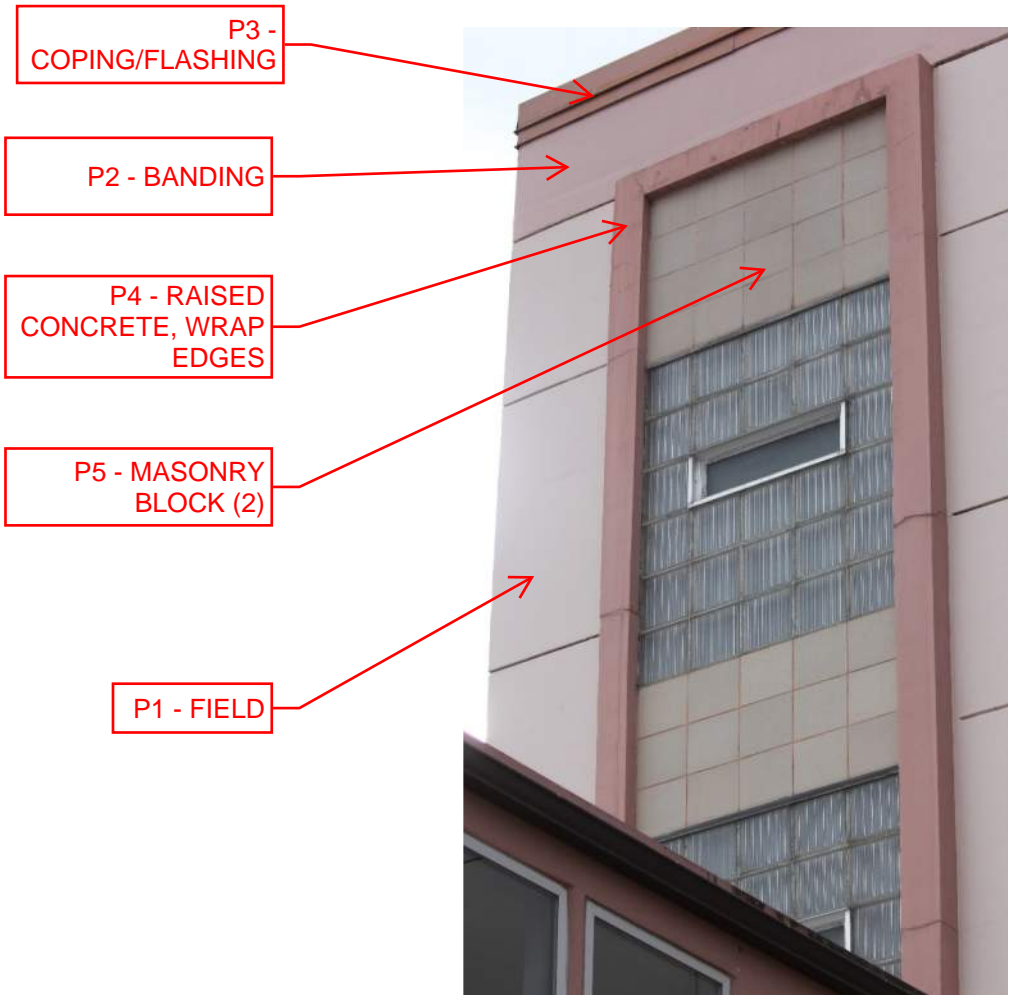


HARRISON - SOUTH



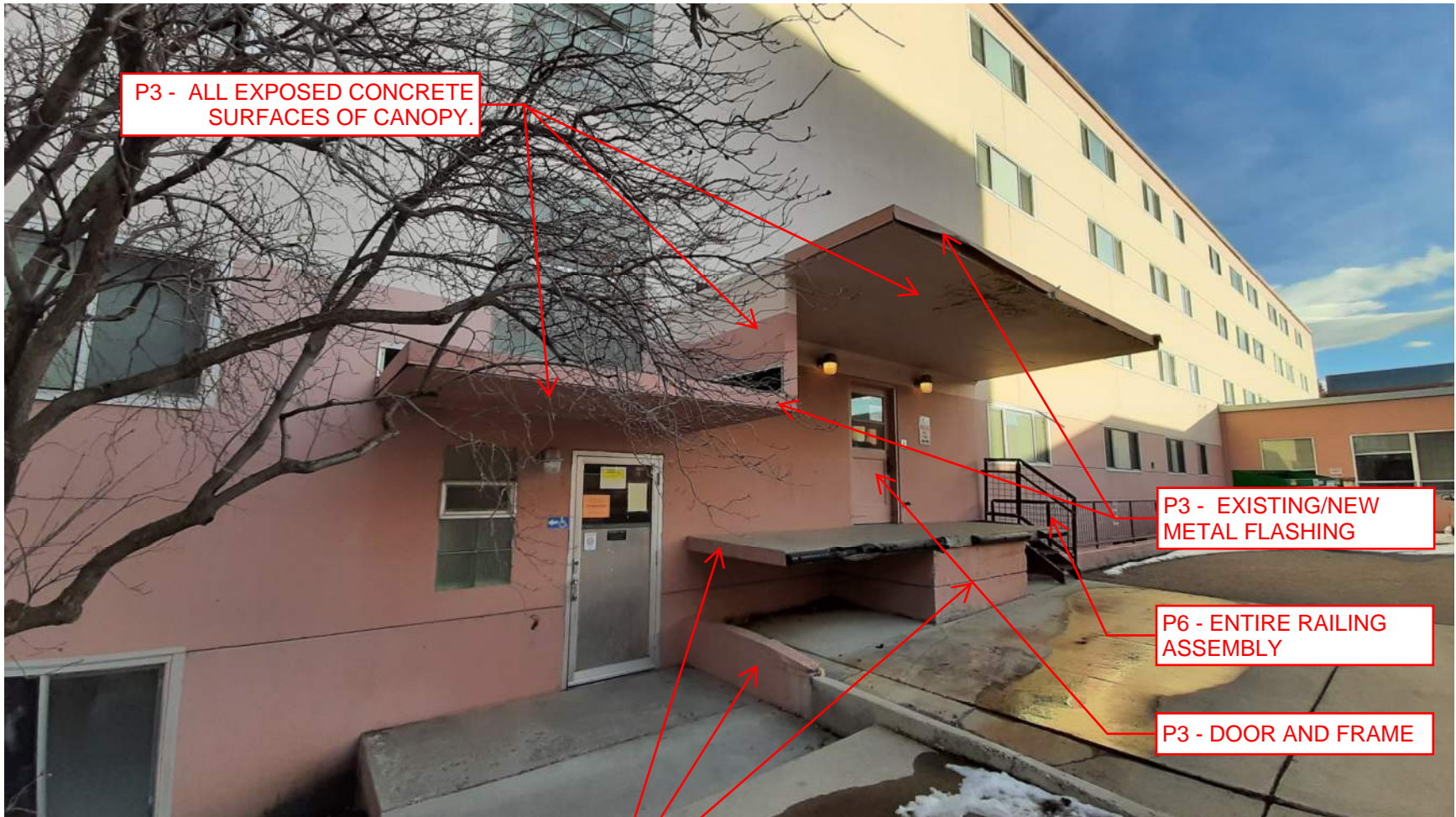
SIDE ENTRY AND STAIR WINDOW

(typical at 2 locations)



CONNECTOR STAIR WINDOW

(typical at 2 locations)



P3 - ALL EXPOSED CONCRETE SURFACES OF CANOPY.

P3 - EXISTING/NEW METAL FLASHING

P6 - ENTIRE RAILING ASSEMBLY

P3 - DOOR AND FRAME

P3 - PAINT ALL EXISTING PAINTED SURFACES AT LOADING DOCK, CUBS, ETC.

COURTYARD DOCK / ENTRY
(typical at 4 locations)

NOTE: ABATEMENT REQUIRED AT PRYOR LOADING DOCK ONLY. PAINTING MUST IMMEDIATELY FOLLOW ABATEMENT.



P6 - ENTIRE RAILING ASSEMBLY INCLUDING MESH

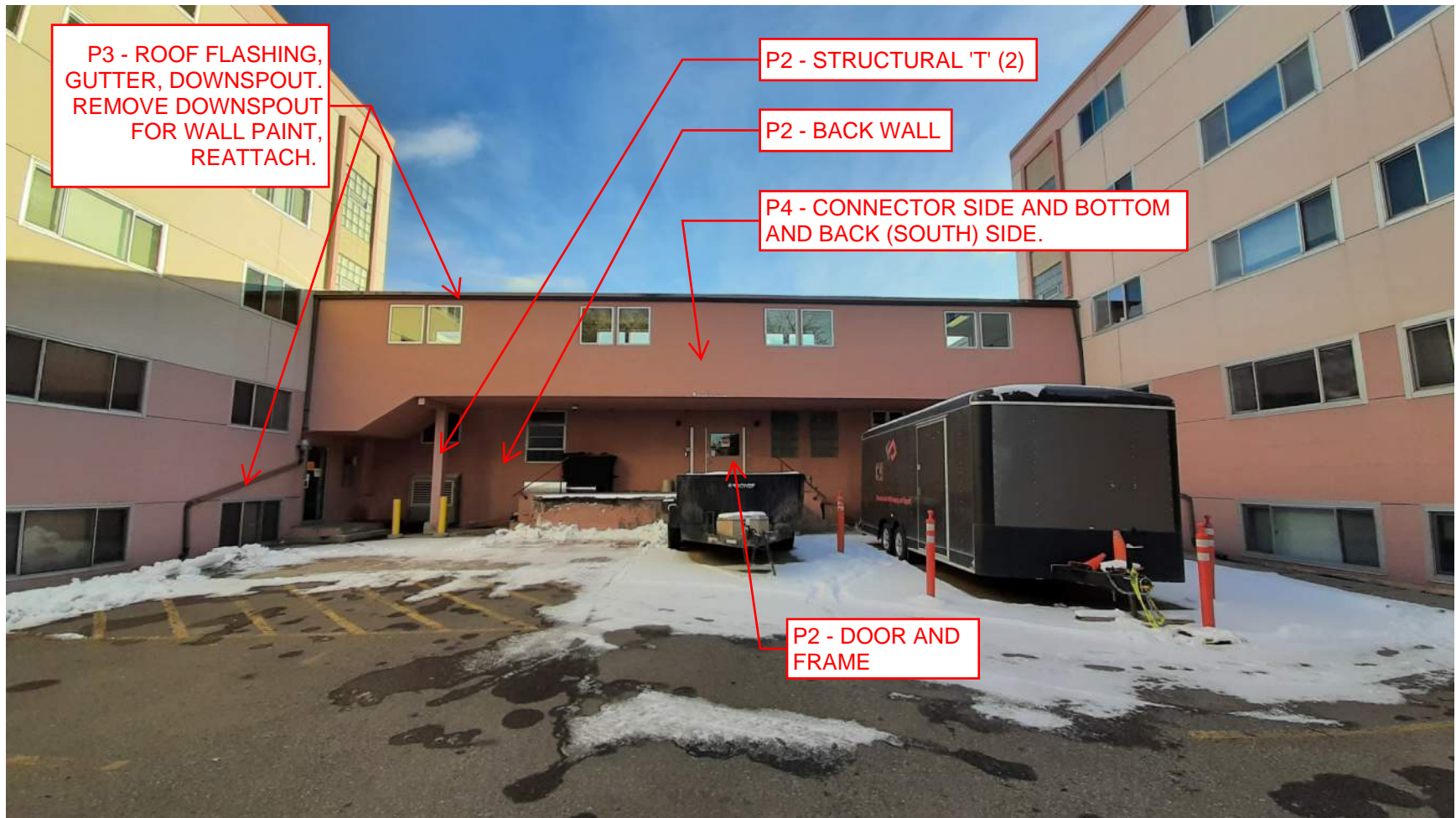
P2 - ALL WALL SURFACES IN WINDOW WELL CURRENTLY PAINTED

P7 - TOP AND SIDES OF CURB

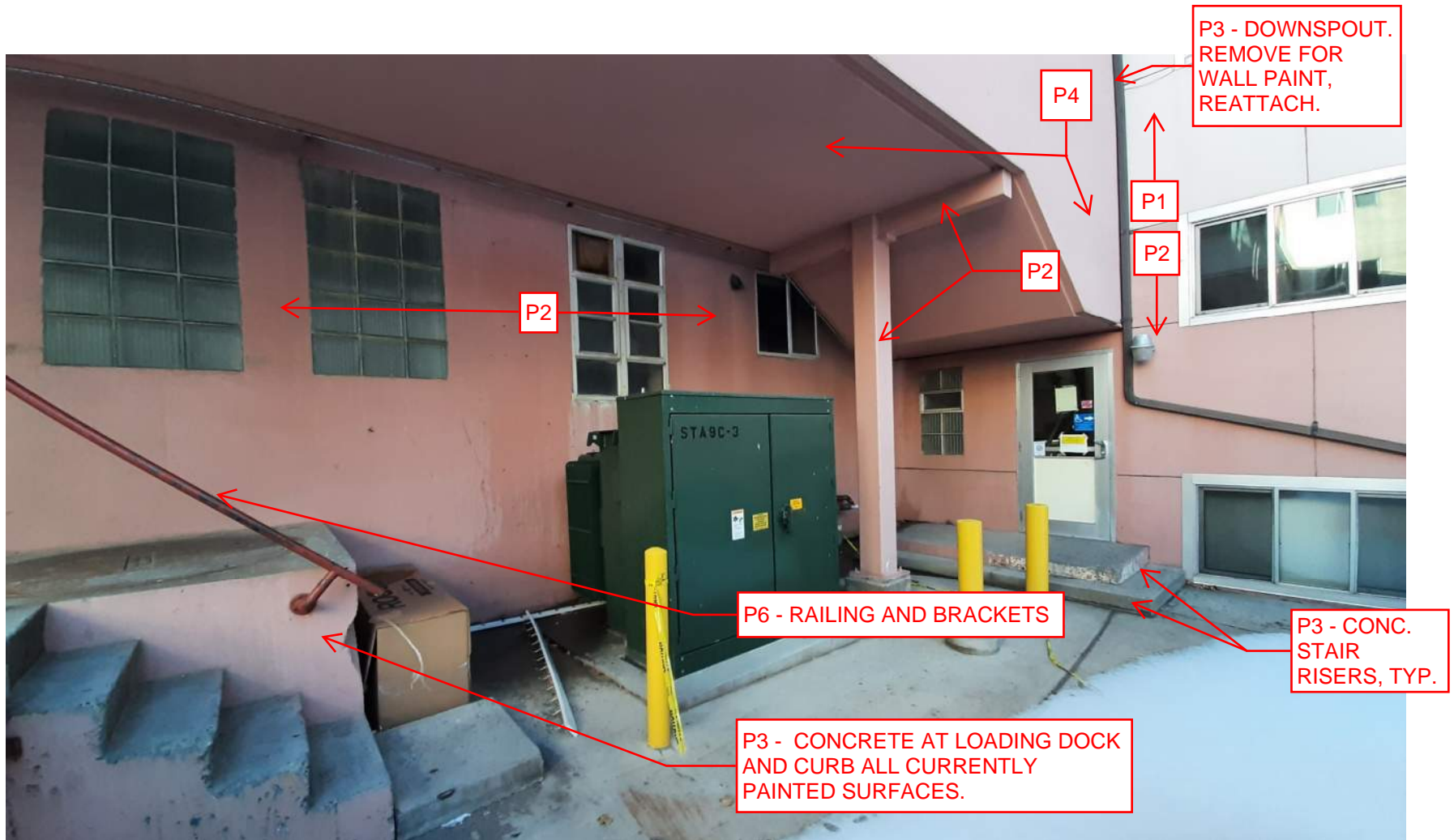
COURTYARD – WINDOW WELL
(typical at 4 locations)



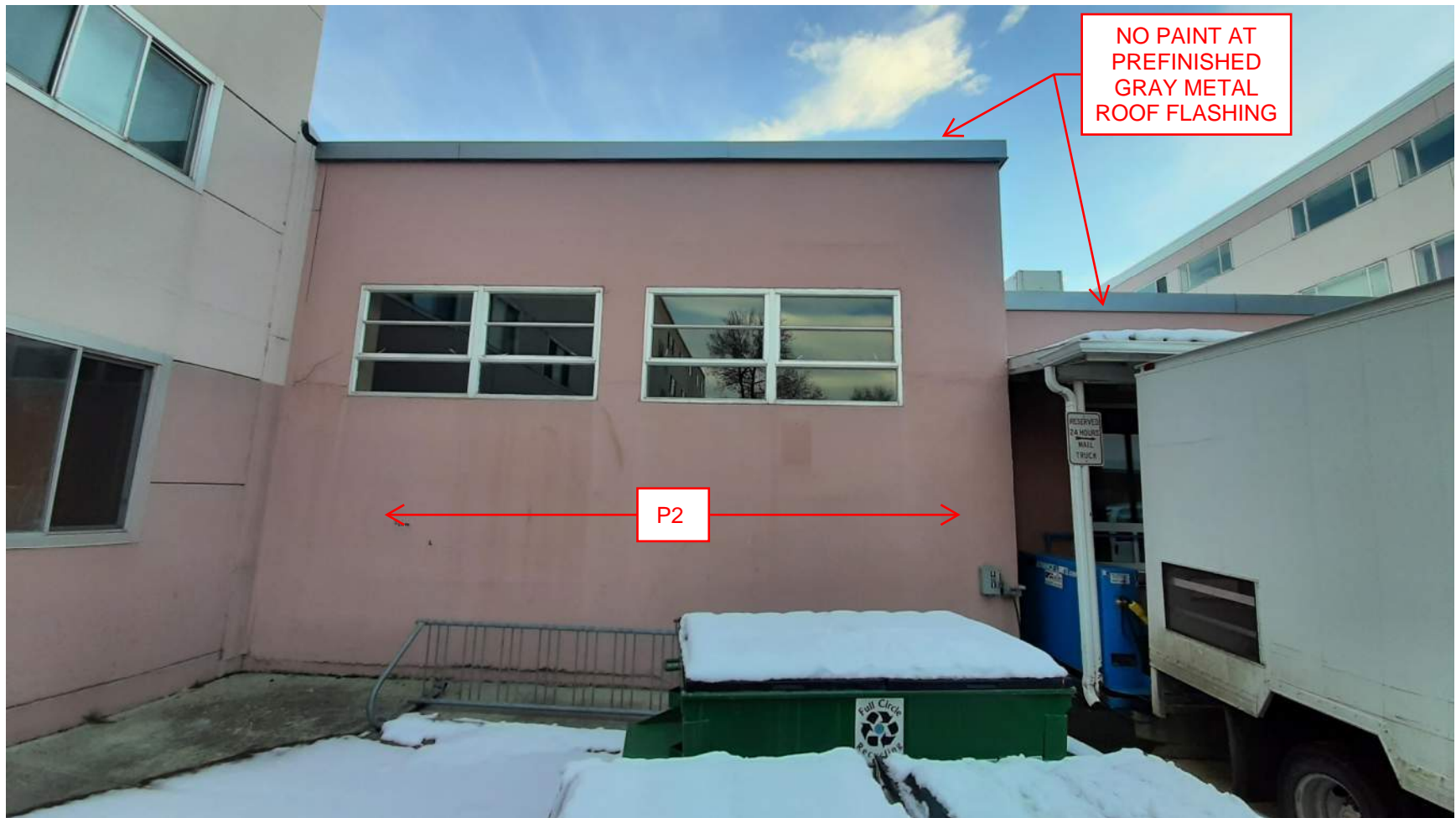
COURTYARD - NORTH
(between Pryor / Colter)



COURTYARD - NORTH
(between Colter / Mullan)



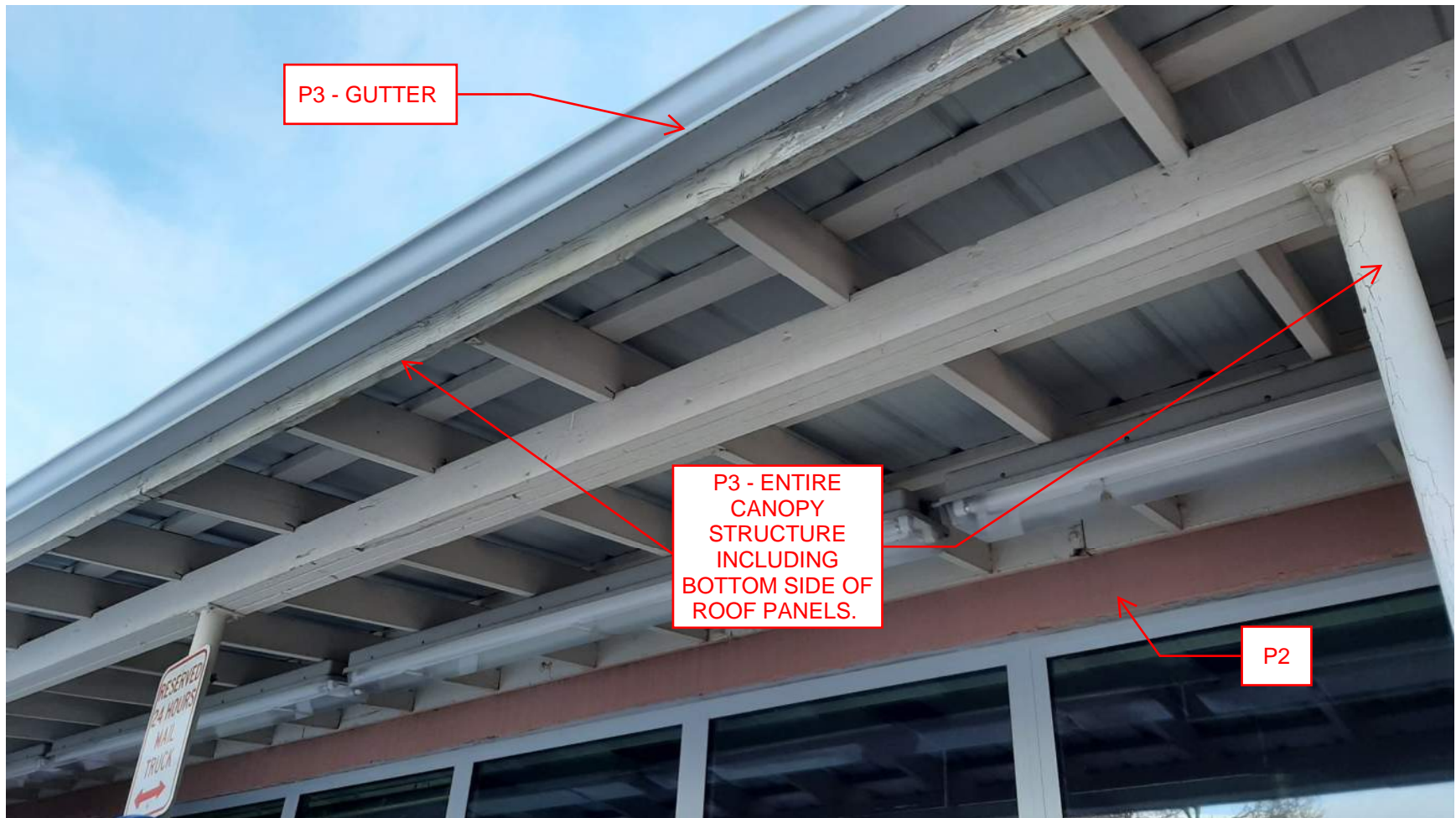
COURTYARD - NORTH
(between Colter / Mullan)



COURTYARD - NORTH
(between Mullan / Culbertson)



COURTYARD – NORTH
(between Mullan / Culbertson)



COURTYARD – NORTH
(between Mullan / Culbertson)



P6 - ROOF RAILINGS,
(4 LOCATIONS)

P3 - ROOF
FLASHING,
ALL SIDES

P6 - ALL ROOF
LADDERS (4)

P2 - ALL ROOF
PENTHOUSE
WALLS

ROOF – UPPER
(typical at 4 locations)

NO PAINT AT THESE 4 RAILING
SECTIONS. GOOD CONDITION
AND ACCURATE COLOR.



P2 - ALL ROOF WALLS
AT HARRISON

ROOF - LOWER
(typical condition)